

***Bannon Lakes***  
*Community Development District*

*February 17, 2026*

## *AGENDA*

# *Bannon Lakes*

## *Community Development District*

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475 West Town Place, Suite 114, St. Augustine, FL 32092

Phone: 904-940-5850 - Fax: 904-940-5899

February 10, 2026

Board of Supervisors  
Bannon Lakes Community Development District

Dear Board Members:

The Bannon Lakes Community Development District Meeting is scheduled for **February 17, 2026 at 6:00 p.m.** at Bannon Lakes Amenity Center, 435 Bannon Lakes Boulevard, St. Augustine, Florida 32095.

Following is the advance agenda for this meeting:

- I. Call Order
- II. Public Comments
- III. Approval of Minutes of the January 20, 2026 Meeting
- IV. Discussion of:
  - A. Fitness Center Expansion
  - B. Painted Rock Project
  - C. Amenity Center Hours
  - D. Bike Rack at Southshore
  - E. Radar Speed Limit Signs
  - F. Crosswalk Installation
- V. Consideration of Proposals for Pickleball and Basketball Court Lighting
  - A. Lumark
  - B. PLP
  - C. Smith Electric
- VI. Consideration of Renewal with Lake Doctors for Water Management
- VII. Staff Reports
  - A. Attorney
  - B. Engineer

- C. District Manager
  - D. General Manager – Report
- VIII. Audience Comments
- IX. Supervisor’s Requests
- X. Financial Reports
  - A. Balance Sheet and Statement of Revenues & Expenditures for the Period Ending January 1, 2026
  - B. Assessment Receipt Schedule
  - C. Approval of Check Register
- XI. Next Scheduled Meeting: March 17, 2026 at 6:00 p.m. at Bannon Lakes Amenity Center
- XII. Adjournment



### *THIRD ORDER OF BUSINESS*

**MINUTES OF MEETING  
BANNON LAKES  
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Bannon Lakes Community Development District was held on Tuesday, **January 20, 2026**, at 6:00 p.m. at the Bannon Lakes Amenity Center, 435 Bannon Lakes Boulevard, St. Augustine, Florida 32095.

Present and constituting a quorum were:

Kim Crenier  
Sandy Gehring  
Thomas Cooper  
John Ter Louw

Vice Chairperson  
Assistant Secretary  
Assistant Secretary  
Assistant Secretary

Also present were:

Matt Biagetti  
Wes Haber *by phone*  
Alex Acree  
Jeff Johnson  
Emily Wright  
Michael Lucas  
Sgt. Bobby Kukar

District Manager, GMS  
District Counsel, Kutak Rock  
District Engineer  
RMS, Operations Manager  
RMS, Amenity Manager  
Basham & Lucas  
SJCSO

**FIRST ORDER OF BUSINESS**

**Roll Call**

Mr. Biagetti called the meeting to order at 6:00 p.m. Four Supervisors were in attendance in person constituting a quorum.

**SECOND ORDER OF BUSINESS**

**Public Comments**

Mr. Biagetti opened the public comment period for agenda items only and reminded speakers that comments were limited to three minutes, must relate to agenda items, and require the speaker's name and address for record.

Resident (Michael Manzione, 166 Sage Hen) requested consideration of installing a bike rack at the bus stop located at Beechnut and Ironside. Staff and the Board discussed whether the location was on CDD or HOA property and noted bike racks are typically the responsibility of the HOA unless located on CDD owned land.

Resident (Alyssa Chiodo, 36 Flintlock Lane) asked whether the HOA had been contacted regarding installation of a bike rack and noted that an existing rack was placed on the edge of CDD property as a temporary solution. Staff confirmed the matter had not yet been revisited with the HOA and stated it could be discussed further at a later time.

Resident (Charles Collins) raised safety concerns regarding the increased use of electric bikes and motorized scooters throughout the community, citing incidents involving unsafe riding behavior, lack of visibility, and potential risks to pedestrians and motorists. Staff explained that the CDD has limited authority to regulate or enforce e-bike usage on county roads and sidewalks, though enforcement can occur within the amenity center area. Staff noted ongoing coordination with the Sheriff's Office and parent outreach efforts. The Board acknowledged the recurring nature of the concern and noted that potential state and county legislative action is being monitored.

Additional residents echoed concerns regarding e-bike speed, lack of lighting, and ride behavior particularly during low-light conditions. The Board discussed a pending court case in Pinellas County that may establish precedent for age and speed restrictions on electric bikes, which could later be adopted locally.

Resident (Hayley, 597 Blind Oak) asked about the status of a potential change to amenity center operating hours. Staff confirmed the item was not on the current agenda but could be added to a future meeting, potentially in connection with upcoming discussions regarding basketball court lighting.

Resident (Duane Dockwell, 251 Rock Spring Loop) commented on manufacturer speed capabilities of e-bike exceeding posted neighborhood speed limits and expressed concern that regulation may only occur following a serious incident. Additional residents shared near-miss experiences involving scooters operating without lights.

### **THIRD ORDER OF BUSINESS**

### **Approval of Minutes of the December 16, 2025 Meeting**

Mr. Biagetti presented the minutes of the December 16, 2025 meeting, which were included in the agenda package. There were no changes.

On MOTION by Ms. Crenier, seconded by Mr. Ter Louw, with all in favor, the Minutes of the December 16, 2025 Meeting, were approved.

#### **FOURTH ORDER OF BUSINESS**

#### **Discussion of Fitness Center Expansion**

Mr. Biagetti introduced the agenda item and noted that architect Michael Lucas was present. He reminded the Board that at the prior meeting the Board had selected Scheme B-3 and that the next step was to obtain a more reliable cost estimate based on preliminary drawings.

Mr. Lucas explained his intent was to prepare approximately a 30% drawing set, sufficient for a contractor to provide a meaningful cost estimate. He stated the contractor providing the estimate was the individual who managed construction of the existing facility (though not the original contracting firm), was familiar with the building, and could produce a more realistic figure than the earlier planning assumption of approximately \$30 per square foot. He clarified that preparing an estimate would not obligate the District to use that contractor for construction. He also noted additional mechanical and electrical information would be needed to support the estimate, including the anticipated loads.

The Board discussed the existing tree impacted by the extension and confirmed the tree would be relocated, removing it from the project's concern list. The Chair summarized that the earlier square-foot estimate implied a total construction cost in the range of approximately \$475,000 and confirmed that estimate did not include fitness equipment.

Staff explained the project would be funded from the District's construction fund account, currently with roughly \$900,000 available, and reiterated the project would not require an increase in CDD fees, a special assessment, or additional charges to residents. Staff stated the fund has been used a "wish list" account for community priorities, and that the fitness center expansion had been identified as the leading priority through resident survey results. Staff added that other projects (including beautification along Bannon Lakes Parkway) remained under consideration and that multiple projects could ultimately be completed, depending on costs and priorities.

Mr. Cooper referenced prior discussion that amenity lighting (basketball, tennis, and pickleball court lighting) could also be considered as part of the overall amenity enhancement effort using the same funding source.

Ms. Gehring provided an update from a recent meeting with Commercial Fitness regarding equipment needs and lifecycle. Staff reported the current equipment dates back to the facility's 2017 build and is now beyond the typical five-to-seven year lifespan for equipment in a community setting. Based on the vendor's guidance and community usage, Ms. Gehring outlined preliminary equipment recommendations: adding one treadmill (bringing the total to four), adding a Smith machine, increasing free weights with expansion up to 75 pounds, adding a recumbent bike, and adding a combination leg curl/leg extension machine. Ms. Gehring noted replacement of some existing equipment-particularly treadmills-may be prudent due to age and the cost/availability of parts. Staff stated equipment procurement could be handled either through direct purchase or through leasing/lease-to-own depending on total project cost and priorities. Staff also noted that Commercial Fitness would provide a written recommendation and assist with redesigning the equipment layout to improve traffic flow and efficiency, including confirming outlet and power needs for specific machines.

The Board discussed flooring, noting the existing floor has visible wear, separations, and trip hazards, and that replacing the flooring may be necessary to avoid having an expanded, updated facility adjacent to worn flooring. Mr. Lucas confirmed he would coordinate with the interior designer to propose flooring options appropriate for different uses (e.g., aerobics versus free weights) and that the Board would be presented with alternatives.

Ms. Gehring opened the floor for questions to Mr. Lucas.

Resident asked why the addition did not extend fully in height/width; Mr. Lucas explained the roofline was designed to match the existing ridge and maximum height while minimizing disruption to the recently completed roof and helping the addition appear integrated rather than appended.

Resident asked whether multiple bids would be obtained for construction. Staff clarified the current request was for preliminary drawings and a cost estimate; once drawings were completed and the Board chose to proceed, construction procurement would be determined and could include multiple bidders. Ms. Gehring also noted the architect had been selected previously through a competitive process and was chosen in part due to familiarity with the facility.

Resident raised concerns about the hallway/classroom arrangement and whether the classroom could become underutilized outside scheduled classes, and questioned how users would comfortably move equipment into the room. Staff responded that functional storage solutions (e.g.,

wall-mounted racks, storage for TRX bands and medicine balls) were available and could be incorporated to support broader use of the space when classes were not scheduled. Ms. Gehring confirmed the room would be available for community uses when not programmed and said the Board would consider equipment/storage configuration as part of the final layout and programming plan.

Resident asked about door types and whether sliding or barn-style doors could be used to reduce swing interference and improve circulation. Staff clarified the discussion largely related to storage/closet doors and noted prior interest in mirrored or alternative door solutions; Mr. Lucas stated door selection would depend on security and use requirements and that prior options had been discussed, including locating storage for acoustical considerations.

Following discussion, the Board moved to accept the selected design (Scheme B-3).

On MOTION by Mr. Ter Louw, seconded by Mr. Cooper, with all in favor, the Proposal of Scheme B-3 for the layout of the Fitness Center Expansion, was approved.

## **FIFTH ORDER OF BUSINESS**

### **Consideration of Pedestrian Crossing Data Study**

Mr. Biagetti introduced the agenda item on consideration of pedestrian crossing data and related traffic-calming options. Staff noted District, Engineer, Mr. Acree was present to discuss possible solutions, including speed radar signs, flashing crosswalk beacons, painted crosswalks, additional signage, stop signs, and speed bumps.

Mr. Acree explained the District had previously explored a four-way stop at the referenced intersection, but St. Johns County requires specific warrants to be met. He outlined that while major-street traffic volumes may be sufficient, the minor-street traffic volume threshold would not be met, and the intersection also did not meet the crash-history or sight-distance criteria. As a result, a four-way stop is unlikely to be approved.

Mr. Acree stated the County similarly requires a traffic study to support installation of a flashing pedestrian beacon (e.g., an RRFB) with a marked crossing, and the community is also unlikely to meet the required criteria for that approval. He summarized that any significant pedestrian improvement request on County roadways generally requires a traffic study, and even with a study, approval is unlikely if warrants are not satisfied.

The Chair asked whether a standard painted crosswalk could be installed elsewhere. Mr. Acree responded that a mid-block marked crossing may be more feasible, but County approval would still be required because it is a County road. He clarified that the traffic study requirement is primarily triggered by the flashing beacon component, not necessarily by striping alone, through any work within County right-of-way still requires County review and permitting.

Mr. Acree described speed-feedback radar signs as a viable alternative. He explained these signs would be owned and maintained by the District under an agreement with the County, would require right-of-way permitting, and would need identification indicating the sign is maintained by the CDD. He confirmed this option does not require a traffic study but does require a basic site plan for proposed locations and submission to County Public Works for a right-of-way permit. Mr. Acree stated that adding additional 25 mph speed limits would follow a similar right-of-way permitting process.

The Board discussed the limitations of enforcement, acknowledging speed-feedback signs are primarily an awareness tool. Mr. Acree noted most units are solar-powered and that existing street trees could limit placement or reduce solar effectiveness.

Ms. Gehring asked about timing for Pulte's final asphalt lift and whether striping or other roadway improvements would be premature prior to that work. Mr. Acree stated final asphalt lift is typically tied to completion thresholds (often a high percentage of home completion or a time trigger), and that Preserve area side streets have not yet been completed. The Board noted prior striping cost estimates were approximately \$30,000 and expressed concern that striping now could be lost when the top layer is milled and replaced.

The Board directed staff to bring back cost information for (1) flashing speed radar signs, including any right-of-way application and permitting costs, and (2) the cost to add painted crosswalk striping (included applicable permit costs), with the understanding that a formal crossing study was not recommended at this time due to likely failure to meet County criteria and the associated expense. The Board also requested staff consolidate these costs for future reference, noting the topic has been recurring.

Staff confirmed they would compile the requested costs and provide an update at the next meeting.

**SIXTH ORDER OF BUSINESS****Consideration of Resolution 2026-02, General Election Resolution**

Mr. Haber explained that the District Board is now fully transitioned to qualified elector elections. Originally, Board members were elected through landowner elections, which required property ownership within the CDD. Elections are now conducted by the St. Johns County Supervisor of Elections and are held every two years. To qualify as a candidate, an individual must be at least 18 years old, registered to vote in St. John's County, and a resident of the CDD, regardless of whether they own or rent their residence.

Mr. Haber further explained that the Supervisor of Elections requires the District to adopt a resolution every two years authorizing the Supervisor to conduct the election of the District's behalf and identifying which Board seats are up for election. The qualifying period for candidates was noted to be June 8 through June 12. If only one candidate qualifies for a seat, the candidate will be deemed elected without appearing on the ballot. If multiple candidates qualify, the election will appear on the ballot for voters residing within the CDD.

On MOTION by Ms. Gehring, seconded by Ms. Crenier, with all in favor, Resolution 2026-02 General Election Resolution, was approved.

**SEVENTH ORDER OF BUSINESS****Consideration of Proposals:****A. Fitness Center Expansion Construction Drawing (*under separate cover*)**

Mr. Biagetti stated as this proposal was already handled in the fourth order of business, no further discussion is required.

**B. Dog Park Sod**

Staff presented a proposal to replace damaged turf along the outer edge of the pavers in the large dog park, where heavy use has resulted in exposed dirt and mud. The scope includes installing Bermuda sod along approximately three fence sections adjacent to the pavers. The total cost for materials and installation is \$1,685.

The Board confirmed that sufficient funds are available within the landscaping contingency of the operating and maintenance budget. Members agreed the work is necessary and the cost reasonable.



Staff advised that installation would proceed once sod delivery is scheduled. Because the area is near the dog park entrance, fencing will not be possible. Residents will be encouraged to keep dogs on leash and minimize use of the new sod until it establishes. Staff will post temporary signage at the dog park and include a notice in the community newsletter.

On MOTION by Mr. Cooper, seconded by Ms. Gehring, with all in favor, the Proposal for Dog Park Sod Installation for \$1,685, was approved.

**C. Pickleball and Basketball Court Lighting (*under separate cover*)**

Staff reported that a lighting proposal is still pending due to delays from the vendor related to product availability and pricing. Although the proposal was expected prior to the meeting, it was not received in time. Staff advised the item should be tabled until the next meeting, at which time a complete proposal is expected. The Board agreed to table the item to the next meeting.

During discussion, the Board addressed questions raised earlier regarding facility hours and lighting, particularly as they relate to seasonal daylight changes. It was noted that nay change to facility hours, including use of lighting, can be made at the Board's discretion without a formal hearing. The Board agreed to revisit both the lighting proposal and any potential changes to facility hours at the next meeting.

**D. Bike Rack/Concrete Pad for Bike Rack**

Staff presented a proposal that combines installation of a bike rack with construction of a concrete pad on CDD property along Bannon Lakes Boulevard, near the boundary of South Shore. The proposal includes installation of a 10-foot by 14-foot concrete pad at a cost od \$2,565. The Board was presented with two options for the bike rack to be placed on the pad: a five-bike rack or nine-bike rack. The bike rack cost was estimated at approximately \$1,400, bringing the total project cost to approximately \$3,700, depending on final configuration. It was noted that the concrete pad represents the majority of the cost.

Staff explained that while the District has historically preferred that individual HOA's install. And maintain bike racks within their communities, a temporary bike rack had previously been installed at this location to accommodate South Shore residents. The rack is located at the edge of CCD property, and the bus stop it serves is not directly adjacent to the rack location. Staff

indicated that the installation was intended as a temporary measure until South Shore installed its own bike rack.

Board members expressed concern about approving District funds for a permanent installation that would primarily benefit a single HOA, noting that other HOA's have paid for and installed their own bike racks. The Board discussed the importance of consistency and fairness among communities and agree that South Shore should be approached to determine whether it is willing to assume responsibility for installing and funding a bike rack on its own property, potentially relocating it slightly off CDD land.

Staff confirmed that South Shore had not been recently contacted regarding assuming responsibility for the bike rack but agreed that such a conversation should occur before any approval by the Board. Staff volunteered to contact South Shore to discuss the issue and report back to the Board.

The Board took no action on the proposal at this time and agreed to defer consideration until after discussions with South Shore are completed.

## **EIGHTH ORDER OF BUSINESS**

### **Staff Reports**

#### **A. Attorney**

Mr. Haber advised that a proposed settlement had been received from the roofing material manufacturer following negotiations. In exchange, the District would execute a release of claims related to the failed roofing material and resulting damages.

Mr. Haber explained that the release language is broad and would release the company and its affiliates from any current or future claims arising out of this specific roofing issue. However, the release would apply only to this incident and would not affect any unrelated or future purchases from the company. Mr. Haber further noted that one provision of the agreement requiring confidentiality was problematic, as the District cannot agree to confidentiality beyond what is permitted by law. Revised language was proposed to limit confidentiality to the maximum extent allowed by law.

Board members asked clarifying questions regarding the scope of the release and confirmed that the District did not replace the roof using the same manufacturer's materials and that the settlement simply reimburses the District for costs paid to another contractor. It was also noted that while additional site issues, such as damage to concrete areas, exist, those items were not included in the reimbursement request and are outside the scope of the settlement.

The Board expressed appreciation for counsel's efforts in securing full reimbursement and noted that the outcome represents a significant benefit to the District.

On MOTION by Ms. Gehring, seconded by Ms. Crenier, with all in favor, Accepting and Authorizing Chair to Execute Settlement Offer from TAMKO, was approved.

**B. Engineer**

Mr. Acree stated he had nothing further to report and was happy to answer questions.

**C. District Manager**

Mr. Biagetti reported he met on site with staff members Emily and Jeff, along with the District's insurance provider, for a general site visit. He noted this was his first opportunity to see the full extent of the District's facility in person.

The visit focused on reviewing the facilities and discussing risk management items, including guidance from the insurer on signage and related considerations, consistent with prior discussions regarding appropriate language and safety measures. Mr. Biagetti commented that the facilities are in excellent condition and expressed appreciation for the strong partnership with the District's insurance provider.

Mr. Biagetti concluded by commending staff, specifically Jeff and Emily, for their work in maintaining the facilities at a high standard.

**D. General Manager– Report**

Ms. Wright reported on recent and upcoming community events. The Polar Bear event was held successfully over the weekend with good attendance and favorable weather. A snow machine was provided, and the event is planned to return next year. A Valentine's Day children's craft event is scheduled for February 13, with two class sessions available.

Ms. Wright provided an update on Vendor Village. The vendor coordinator indicated a resident-only Vendor Village would require participation of at least 30 resident vendors, noting that prior resident turnout has been low. An April date is being considered pending interest. The Board confirmed continued approval of outside vendors and limited on-site signage advertising the event.

Ms. Wright reported that the Little Free Library has been ordered and is expected to arrive prior to the next meeting. Staff will solicit book donations and install the library at the roundabout.

Discussion followed regarding a proposed swim school program. Staff is awaiting final cost details, including the vendor's fee to the District and charges to residents. The Board requested this information prior to approval and confirmed the program must be resident-only. Staff will also confirm execution of a vendor agreement and liability provisions.

Mr. Johnson provided an operations update. Installation of playground and dog park shade structures is underway, with concrete footings being installed. Shade materials are expected to arrive in approximately three to four weeks. The playground will remain closed until installation and re-mulching are complete. Staff will continue providing updates to residents.

Mr. Johnson also reported that additional sidewalk signage has been installed to address e-bike and scooter safety concerns, directing traffic away from the patio, pool, and office areas. Educational efforts will continue.

Sgt. Kukar addressed the board regarding on going speeding, e-bike, and scooter safety concerns. He reported continued enforcement efforts, emphasizes the role of parental responsibility, and noted recent incidents involving unsafe operation. Patrol presence and education efforts will continue as resources allow. The Board thanked Sgt. Kukar for his assistance.

## **NINTH ORDER OF BUSINESS**

### **Audience Comments**

Resident (Hayley, 597 Blind Oak) asked whether the recent roof settlement would impact future assessments. Staff explained the settlement proceeds will be returned to the Capital Reserve Fund and considered during the upcoming budget process. No determination has been made regarding future assessment levels. Hayley also asked whether the dog park would be closed following sod installation. Staff confirmed the park will be closed during installation and may remain closed briefly afterward to allow sod to establish.

Resident (Tom Kelly, 178 Ash Breeze Cove) asked whether the proposed bike rack improvements included the Seacrest Harbor location. Staff confirmed they did not. Mr. Kelly also inquired about television programming at the amenity center. Staff confirmed the District does not provide cable service and utilizes streaming devices and Wi-Fi only. Mr. Kelly noted that future crosswalk installations may require sidewalk modifications.

Resident (Mary Lyles, 137 Orchard Lane) asked about ownership of the bike pad on Duran Drive and proposed a community painted-rock activity. Staff clarified the pad was developer-installed, and the Board requested additional information before considering the activity.

Resident (Duane Dodwell, 251 Rock Spring Loop) asked questions regarding fitness equipment additions and expressed concern regarding pedestrian safety and emergency cases. The Board acknowledged the comments and stated equipment selections are still under consideration.

Resident (Matt Davis, 52 Bent Lake Ct) asked whether the mulch project include berms and landscaped areas. Staff confirmed it does and thanked him for his comments.

Resident (Eileen McCabe, 62 Antler Branch) asked whether mirrors would be included in the fitness expansion. The board stated mirrors are under consideration.

Resident (Doug Parker, 56 Ash Breeze Cove), requested consideration of an additional elliptical machine. The Board noted the request for future consideration.

Resident (Charlie, Beechnut Circle) asked about lighting controls for the basketball and pickleball courts. Staff stated lighting would include timers and be designed to minimize light spill.

Resident asked whether sod installation should be delayed until warmer weather. Staff stated the installation is necessary due to current conditions and will be managed to support establishment.

Resident (Susan, Orchard Lane) addressed traffic safety concerns on county owned roadways. She referenced prior traffic monitoring equipment placed in the area, which staff confirmed was installed by the Sheriff's office at no cost to the District. Susan expressed concern regarding speeding vehicles, e-bike, and scooters operating on sidewalks, pedestrian safety, wildlife impacts, and the limited access into and out of the community. She asked why the County is unable to implement traffic calming measures.

Staff and Board members explained that the roadway is under County jurisdiction and that the District lacks authority to install traffic controls without County Approval. Residents were encouraged to contact the County Commissioner for the district to voice concerns, as constituent outreach is the primary avenue for potential County action.

**TENTH ORDER OF BUSINESS**

**Supervisor's Requests**

Mr. Biagetti opened Supervisor's request.

**ELEVENTH ORDER OF BUSINESS**

**Financial Reports**

**A. Balance Sheet and Statement of Revenues & Expenditures for the Period Ending December 31, 2025**

Mr. Biagetti presented the unaudited financials through December 31, 2025.

**B. Assessment Receipt Schedules**

Mr. Biagetti stated assessment receipt schedule shows that the CDD is 79.71% collected.

**C. Approval of Check Register**

Mr. Baigetti presented the Check Register totaling \$272,016.68, which also includes the \$25,000 payment out of the capital reserve for the roof project.

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| On MOTION by Ms. Crenier, seconded by Ms. Gehring, with all in favor Check Register Totaling \$272,016.68, was approved. |
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**TWELFTH ORDER OF BUSINESS**

**Next Scheduled Meeting – February 17, 2026  
at 6:00 p.m. at Bannon Lakes Amenity Center**

Mr. Biagetti announced that the next meeting was scheduled for February 17, 2026 at 6:00 p.m. at the Bannon Lakes Amenity Center.

**THIRTEENTH ORDER OF BUSINESS**

**Adjournment**

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| On MOTION by Ms. Crenier seconded by Mr. Ter Louw with all in favor the meeting was adjourned. |
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Secretary / Assistant Secretary

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Chairperson / Vice Chairperson

## *FOURTH ORDER OF BUSINESS*

*A.*



REVIEW SET

XX-XX-2026

BANNON LAKES FITNESS CENTER

THIS SET OF CONSTRUCTION DOCUMENTS IS  
INTENDED TO BE READ AS A COMPREHENSIVE SET  
OF DRAWINGS AND WRITTEN SPECIFICATIONS.

REVISIONS

| NO. | DATE | DESCRIPTION | BY |
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| DIVISION | CATEGORY         | EXTERIOR COMPONENT                                  | MANUFACTURER                   | MODEL NO.NAME                    | COLOR                | FPA NO.         |
|----------|------------------|---|--------------------------------|----------------------------------|----------------------|-----------------|
| 073113   | ROOFING          | ASPHALT SHINGLES                                    | CERTAINTEED, LLC               | CERTAINTEED LANDMARK PRO         | TBD                  | FL5444.2        |
| 073216   | ROOFING          | CONCRETE ROOF TILES                                 | WESTLAKE ROYAL ROOFING         | SAXONY 900                       | MOUNTAIN BLEND       | FL7849.21       |
| 074113   | ROOFING          | EXPOSED FASTENER METAL ROOFING                      | PETERSON ALUMINUM CORP         | 5-V CRIMP                        | SLATE BLUE           | FL24423.2       |
| 075419   | ROOFING          | MEMBRANE ROOFING                                    | CARLISLE SYNTEC SYSTEMS        | SURE-FLEX PVC KEE ROOFING SYSTEM | WHITE                | FL14165.1       |
| 077200   | ROOF ACCESSORIES | ROOF ACCESS HATCH                                   | THE BILCO COMPANY              | TYPE S-50                        | ALUMINUM MILL FINISH | FL15110         |
| 081113   | EXTERIOR DOORS   | HOLLOW METAL DOORS & FRAMES                         | ALLEGION                       | STEELCRAFT STEEL DOORS           | PRIMED               | PROVIDE CURRENT |
| 081613   | EXTERIOR DOORS   | FIBERGLASS DOORS & FRAMES                           | PLASTPRO INC.                  | TBD                              | FIELD PAINT          | FL15213         |
| 081615   | EXTERIOR DOORS   | VINYL DOORS & FRAMES                                | PGT INDUSTRIES                 | WINGUARD VINYL DOOR FD-5555      | WHITE                | FL253.6         |
| 083213   | EXTERIOR DOORS   | SLIDING ALUMINUM FRAMED GLASS DOORS                 | YKK AP AMERICA, INC.           | YSD 600 TH SLIDING GLASS DOOR    | WHITE                | FL8753.3        |
| 083215   | EXTERIOR DOORS   | MULTI-SLIDE DOOR SYSTEM                             | EURO-WALL SYSTEMS, LLC         | MS-MULTISLIDE SYSTEM WZ3         | WHITE                | FL34003         |
| 083613   | EXTERIOR DOORS   | OVERHEAD SECTIONAL DOORS                            | CLOPAY CORPORATION             | INDUSTRIAL SERIES MODEL 524      | TBD                  | FL16848.1       |
| 084113   | STOREFRONTS      | EXTERIOR STOREFRONT WINDOWS, SIDELIGHTS, & TRANSOMS | YKK AP AMERICA, INC.           | YHS 50 TU                        | WHITE                | FL14218.13      |
| 084113   | STOREFRONTS      | EXTERIOR STOREFRONT DOORS                           | YKK AP AMERICA, INC.           | 35HL MEDIUM STILE DOOR           | WHITE                | FL16981.2       |
| 085313   | EXTERIOR WINDOWS | VINYL SLIDING WINDOWS                               | PGT INDUSTRIES                 | WINGUARD VINYL ROLLER SGD-5570   | WHITE                | FL242.6         |
| 085313   | EXTERIOR WINDOWS | FIXED VINYL WINDOWS                                 | PGT INDUSTRIES                 | WINGUARD VINYL FIXED PW-5520     | WHITE                | FL243.5         |
| 089119   | LOUVERS          | ALUMINUM LOUVERS                                    | CONSTRUCTION SPECIALTIES, INC. | DCH-5704                         | TBD                  | FL21969         |

ST. JOHNS COUNTY, FLORIDA

P R O J E C T T E A M

|   |  |  |   |  |   |  |
|---|--|--|---|--|---|--|
| <u>OWNER</u><br>Bannon Lakes CDD<br>C/O Governmental Management Services<br>475 West Town Place   Suite 114<br>St. Augustine, Florida 32092 | <u>CIVIL ENGINEER</u><br>Taylor & White, Inc.<br>9556 Historic Kings Road S., Suite 102<br>Jacksonville, Florida 32257<br>904.346.0671 | <u>ARCHITECTURE &amp; LANDSCAPE</u><br>Basham & Lucas Design Group, Inc.<br>7645 Gate Parkway   Suite 101<br>Jacksonville, Florida 32256<br>904.731.2323 | <u>INTERIOR DESIGNER</u><br>Micamy Design Studio<br>4887 Victor Street<br>Jacksonville, Florida 32007<br>904.683.6625 | <u>STRUCTURAL ENGINEERING</u><br>Lowe Structures, Inc.<br>11651 Central Parkway   Suite 106<br>Jacksonville, Florida 32224<br>904.992.0377 | <u>MECHANICAL ENGINEER</u><br>Ci-Mech Engineering<br>8431 Baymeadows Way   Suite 3<br>Jacksonville, Florida 32256<br>904.503.1421 | <u>ELECTRICAL ENGINEER</u><br>Shaffer Engineering Group LLC<br>12058 San Jose Blvd, Suite 203<br>Jacksonville, Florida 32223<br>904.239.3621 |
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**BANNON LAKES**

St. Johns County, FL

**FITNESS CENTER**

COVER SHEET

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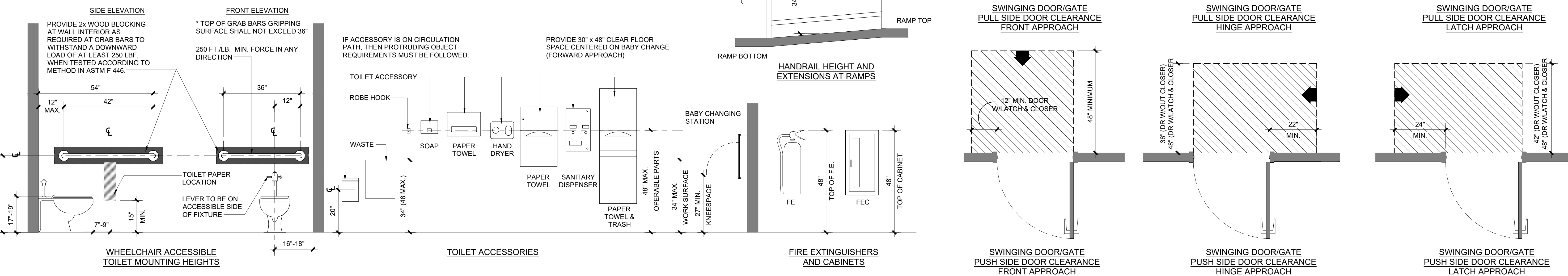
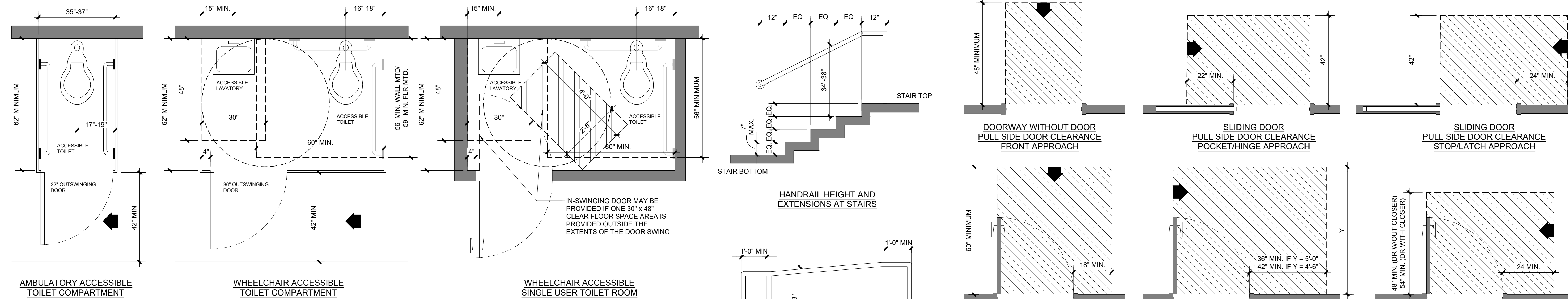
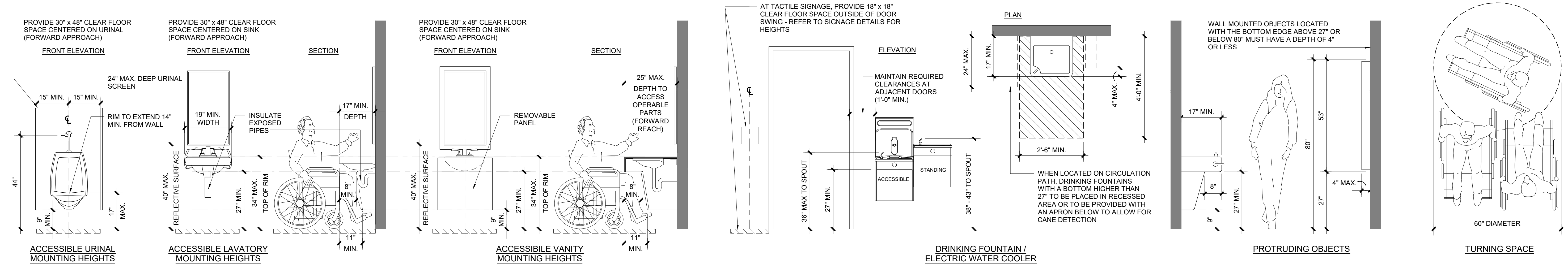
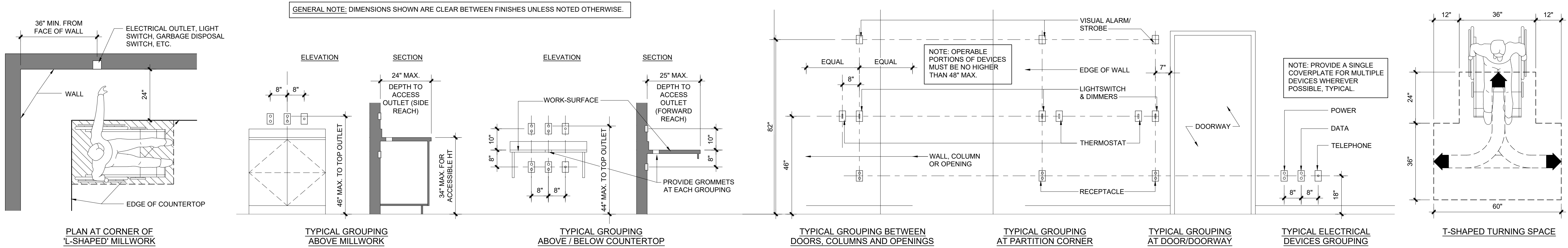
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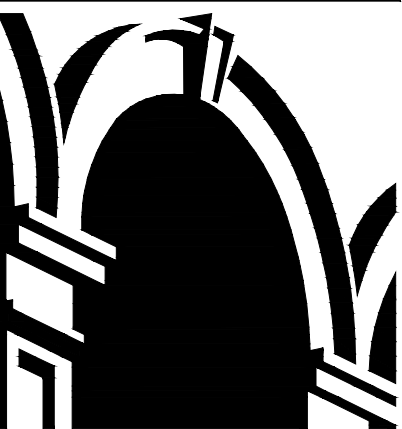
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**FITNESS CENTER**

MOUNTING HEIGHTS AND FLOOR CLEARANCES



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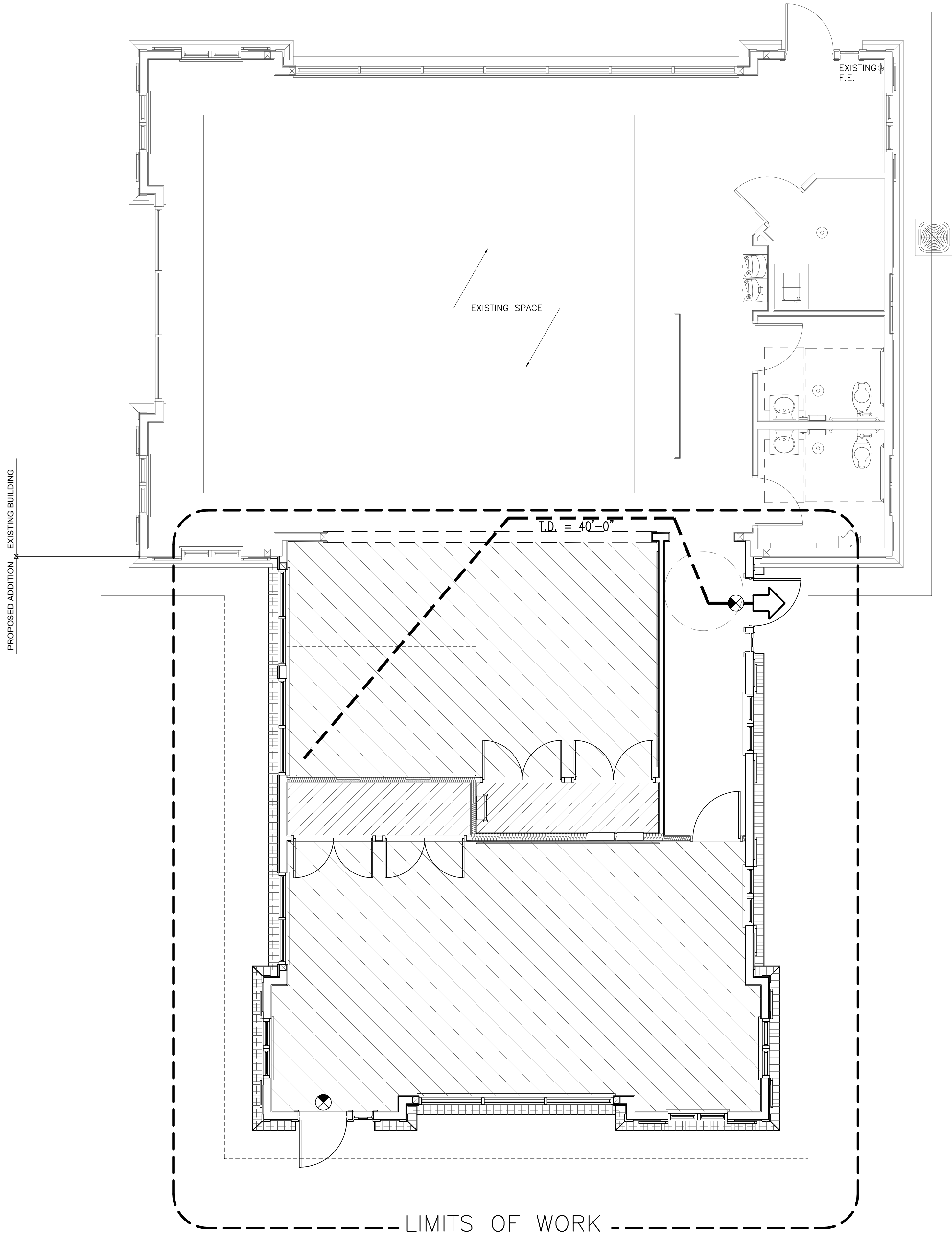
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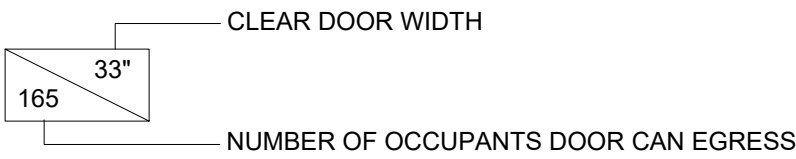
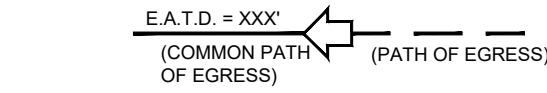
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ABBREVIATIONS / SYMBOLS

F.E.C. = FIRE EXTINGUISHER CABINET  
E.A.T.D. = EXIT ACCESS TRAVEL DISTANCE



NOTE: PER FBC 2023 TABLE 1006.2.1 AN OCCUPANCY LOAD OF 49 OR LESS IS PERMITTED TO HAVE ONE EXIT.

SYMBOL LEGEND

- EMERGENCY WALL MOUNTED LIGHT
  - EXIT SIGN
  - EMERGENCY RECESSED DOWNLIGHT
  - EMERGENCY LIGHT FIXTURE
- (1) 36" WIDE DOOR:  
33" (CLEAR WIDTH OPENING) / 0.2  
(PER PERSON) = 165 OCCUPANTS

PARTITION LEGEND

REFER TO PARTITION SCHEDULE FOR DETAILS

- NON-RATED STUD WALL
- SOUND ATTENUATION BLANKET

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
- IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR TO USE A LICENSED FIRE EXTINGUISHER CONTRACTOR FOR IDENTIFYING THE LOCATION & TYPE OF EXTINGUISHERS USED ON SITE PER FS 633.061 AND NFPA 13.6.2.5. FOR OUTDOOR APPLICATIONS, UTILIZE CABINETS OF NON-CORROSIVE MATERIAL SUITABLE FOR EXTERIOR CONDITIONS.
- FIREFIGHTER SAFETY WARNING SIGNS (MALTESE CROSS) SHALL BE PLACED IN ACCORDANCE WITH FS 633.027 AND FAC 69A-60.008.
- CONTRACTOR TO PROVIDE PROPER SIGNAGE DIRECTING CUSTOMERS AND VISITORS TO RESTROOMS AND OTHER SPACES AS REQUIRED BY FAC 216.3.
- CONTRACTOR TO PROVIDE BUILDING ADDRESS NUMBERS THAT ARE A MINIMUM OF 6" HIGH ON THE BUILDING. LETTERS TO BE VISIBLE FROM THE STREET AND MAY REQUIRE BEING LARGER THAN 6" HIGH PER NFPA 1, 10.11.1.2.
- CONTRACTOR TO PROVIDE REQUIRED SIGNAGE. THE OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN ENTRANCE/EXIT FROM THE ROOM. REFER TO THE BUILDING CALCULATIONS TABLE ON THE CODE INFORMATION SHEET AS TO THE APPROVED MAXIMUM OCCUPANT LOAD TO BE POSTED, UNLESS OTHERWISE NOTED BY THE FIRE MARSHAL. THE POSTING SHALL READ "MAXIMUM OCCUPANT LOAD XXX PERSONS, BY ORDER OF THE FIRE MARSHAL" PER NFPA 101, 12.7.9.3. CONFIRM LOCATION OF ALL SIGNAGE WITH OWNER & ARCHITECT PRIOR TO INSTALLATION. TACTILE EXIT SIGNAGE WILL BE PROVIDED PER NFPA 101 7.10.1.3.
- IN ALL NEW CONSTRUCTION A MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE CONTRACTOR SHALL HAVE A THIRD PARTY PUBLIC SAFETY RADIO ENGINEERING FIRM CONDUCT A TWO-WAY RADIO COMMUNICATION TEST IN ACCORDANCE WITH NFPA 111:1.10 AND NFPA 1225 BY THE TIME OF FRAMING INSPECTION OR SUCH TIME DETERMINED BY THE AHJ. THE CONTRACTOR SHALL PROVIDE A COPY OF THE REPORT TO THE FIRE DEPARTMENT FOR EVALUATION AND ACCEPTANCE.
- AT TIME OF FINAL FIRE INSPECTION, CONTRACTOR SHALL ENSURE THAT THE FIRE DEPARTMENT ACCESS ROAD IDENTIFICATION SIGNS ARE IN PLACE.

FIRE EXTINGUISHER CALCULATIONS

FIRE EXTINGUISHER = UL RATED, 3-A: 40BC 5 LBS.  
PER TABLE 906.3(1) FOR ORDINARY HAZARD OCCUPANCY, THE MINIMUM NUMBER OF FIRE EXTINGUISHERS SHALL BE:  
UNIT OF A = 3 x 1500 = 4,500 S.F.  
3,598 S.F. (TOTAL BUILDING AREA) / 4,500 S.F. = 0.79  
FIRE EXTINGUISHERS PROVIDED: 2

OCCUPANT AREAS

- ASSEMBLY WITHOUT FIXED SEATS  
15 SF NET PER OCCUPANT LOAD  
FBC 2023 (TABLE 1004.5) / FFPC, 8TH EDITION (TABLE 7.3.1.2)
- ACCESSORY STORAGE | MECHANICAL ROOMS  
300 SF GROSS PER OCCUPANT LOAD  
FBC 2023 (TABLE 1004.5) / FFPC, 8TH EDITION (TABLE 7.3.1.2)
- NON-HABITABLE AREA  
N/A

OCCUPANCY CALCULATIONS

| OCCUPANCY TYPE "A-3" F/ PLUMBING FIXTURES |             |                        |                       |
|---|-------------|------------------------|-----------------------|
| ROOMS                                     | AREA (s.f.) | AREA PER PERSON (s.f.) | OCCUPANCY (ALLOWABLE) |
| FITNESS AREA - EXISTING                   | 1,178       | 50                     | 24                    |
| AEROBICS AREA #1                          | 341         | 50                     | 7                     |
| AEROBICS AREA #2                          | 522         | 15                     | 35                    |
| TOTAL BUILDING OCCUPANCY                  |             |                        | 66                    |

| PLUMBING FIXTURE REQUIREMENTS |        |                     |                   |             |              |
|-------------------------------|--------|---------------------|-------------------|-------------|--------------|
| LOCATION                      | GENDER | OCCUPANCY (TOTAL/2) | REQUIRED FIXTURES |             |              |
| BUILDING<br>(BASED ON A-3)    | MEN    | 41                  | TOILET (1/100)    | LAV (1/500) | D.F. (1/600) |
|                               | WOMEN  | 41                  | 1                 | 0           | 1            |
|                               |        |                     | 1                 | 1           | N.A.         |
| TOTAL PROVIDED                | MEN    |                     | 1                 | 1           | 0            |
|                               | WOMEN  |                     | 1                 | 1           | N.A.         |

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BANNON LAKES

St. Johns County, FL

FITNESS CENTER

LIFE SAFETY PLAN

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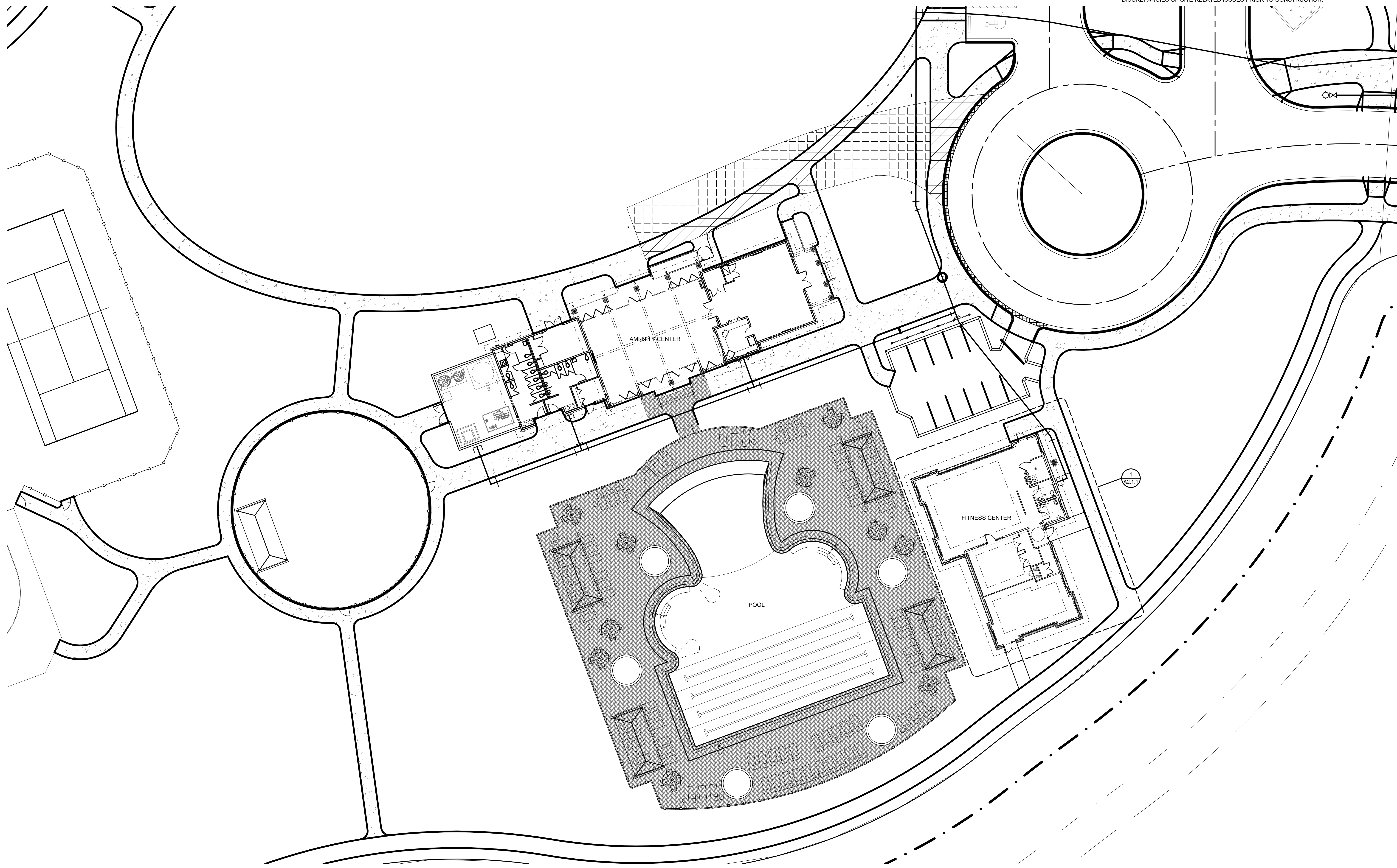
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**GENERAL NOTES:**  
1. THIS PLAN IS FOR GENERAL LAYOUT PURPOSES ONLY. REFER TO CIVIL AND HARDSCAPE DRAWINGS FOR ACTUAL SITE RELATED IMPROVEMENTS REGARDING CLEARING, GRADING, INFRASTRUCTURE, PARKING, UTILITIES AND DRAINAGE. CONTACT ARCHITECT FOR ANY DISCREPANCIES OF SITE RELATED ISSUES PRIOR TO CONSTRUCTION.

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**BANNON LAKES**  
St. Johns County, FL  
**FITNESS CENTER**  
ARCHITECTURAL SITE PLAN



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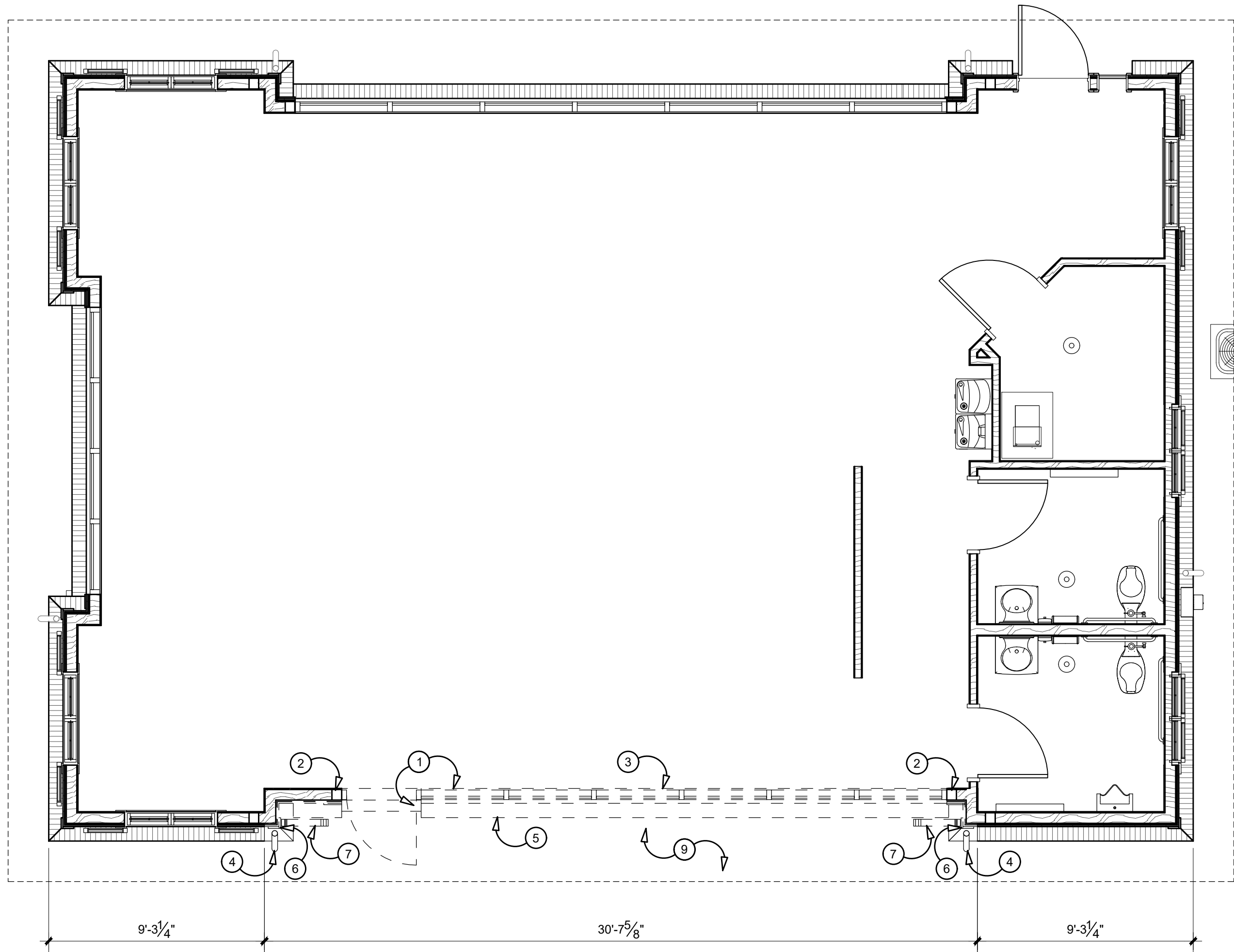
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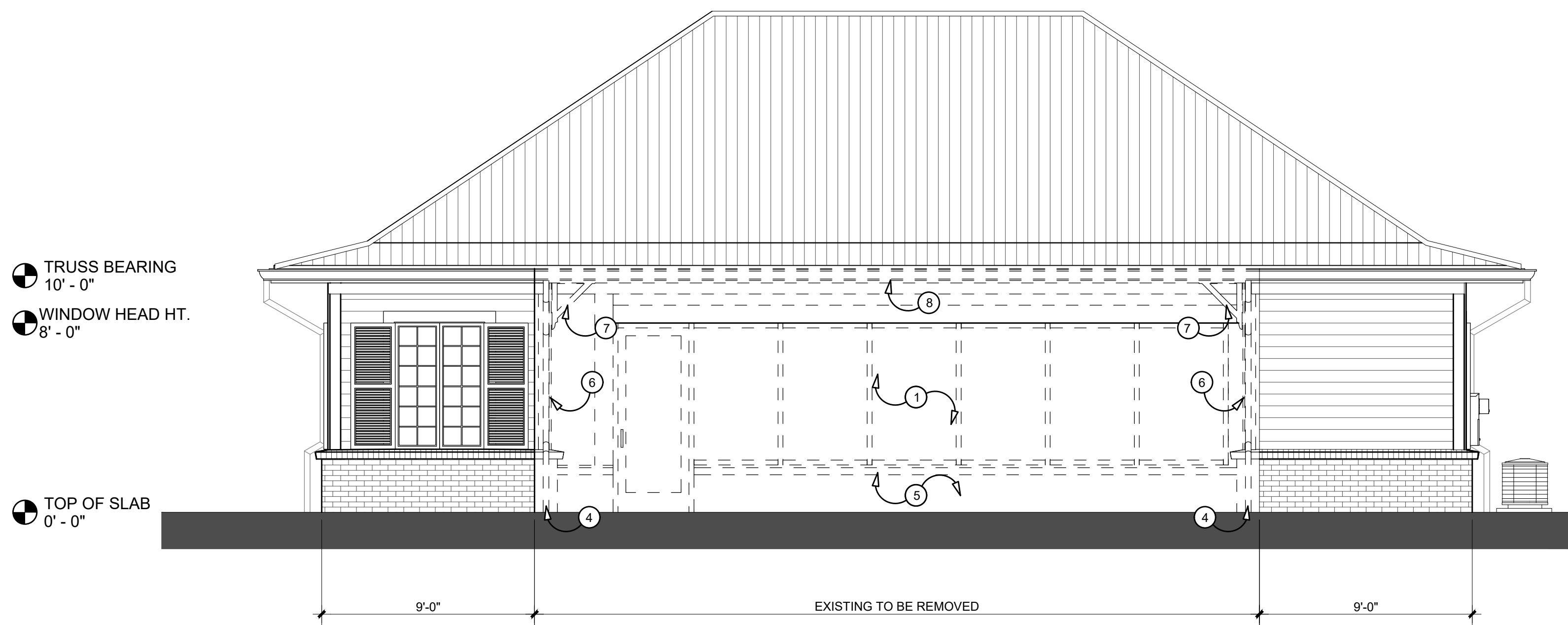
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**1 DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



**2 DEMOLITION ELEVATION**  
SCALE: 1/4" = 1'-0"

## DEMOLITION NOTES

- DEMOLITION CONSISTS OF REMOVING ALL OR PARTIAL REMOVAL OF EXISTING CONSTRUCTION WHICH IN ITS PRESENT POSITION WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION AND TO PERFORM ANY OTHER CUTTING OR PATCHING OF EXISTING CONSTRUCTION AS SHOWN ON THE CONSTRUCTION DOCUMENTS.
- DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION SHALL BE REMOVED FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO A WASTE AREA PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR IS INSTRUCTED TO KEEP DEMOLITION DEBRIS OUT OF BUILDING CORRIDORS AND AWAY FROM TENANT OCCUPIED AREAS.
- DRAWING INDICATES ONLY DEMOLITION OR EXISTING CONSTRUCTION TO REMAIN.
- ALL EXISTING FINISHES WHERE DEMOLITION OR DAMAGE OCCURS, SHALL BE PATCHED, PAINTED, OR REPLACED AS REQUIRED.
- IF EXISTING CONDITIONS ARE DISCOVERED TO BE AT VARIANCE WITH INFORMATION SHOWN ON DEMOLITION PLANS, IT IS THE INTENT OF THESE DRAWINGS TO HAVE THE CONFLICTING ITEM(S) REMOVED TO THE EXTENT REQUIRED TO FACILITATE INSTALLATION OF THE NEW CONSTRUCTION.
- PATCH AND SEAL ALL PENETRATIONS THROUGH RATED WALLS AND FLOORS (1HR, 2HR, SMOKE, ETC.) RESULTING FROM DEMOLITION OPERATION AND AS ENCOUNTERED IN AREAS NOT SCHEDULED FOR RENOVATION.
- REMOVE ALL ABANDONED POWER AND COMMUNICATIONS OUTLETS, BOXES, AND COVERPLATES – PATCH WALLS (OR FLOORS) TO RECEIVE NEW FINISHES.
- REFER TO THE INTERIOR DESIGN DRAWINGS FOR THE REMOVAL ALL EXISTING CEILING TILE, CEILING TRACK, GYPSUM BOARD, LIGHT FIXTURES, SUPPLY DIFFUSERS / RETURNS AND ANY OTHER CEILING DEVICES WITHIN LIMITS OF WORK. MAINTAIN SPRINKLER SYSTEM AND HEADS IN WORKING ORDER. COORDINATE NEW SPRINKLER DISTRIBUTION AND HEAD LAYOUT WITH FUTURE TENANT DESIGN AND FIRE PROTECTION DRAWINGS.
- NO DEMOLITION WORK SHALL OCCUR IN THE EXISTING RESTROOMS.

## LEGEND

- ===== EXISTING TO REMAIN
- ===== EXISTING TO BE REMOVED
- ⌋ DOOR TO REMAIN
- ⌋ DOOR TO BE REMOVED

## KEY NOTES:

- REMOVE EXISTING STOREFRONT SYSTEM.
- EXISTING WOOD COLUMN TO REMAIN.
- REMOVE EXISTING LOW WALL.
- REMOVE EXISTING DOWNSPOUT.
- REMOVE EXISTING BRICK ROWLOCK AND BRICK VENEER BELOW TO EXTENTS SHOWN.
- REMOVE EXISTING SIDING AND TRIM TO EXTENTS SHOWN.
- REMOVE AND SALVAGE EXISTING DECORATIVE BRACKET FOR FUTURE USE.
- REMOVE EXISTING SOFFIT AND GUTTER TO EXTENTS SHOWN.
- REMOVE AND SALVAGE EXISTING LIGHT FIXTURES FOR FUTURE USE.

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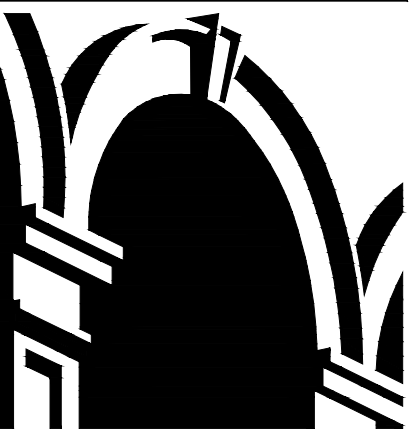
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**BANNON LAKES**

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**FITNESS CENTER**

**DEMOLITION PLAN**



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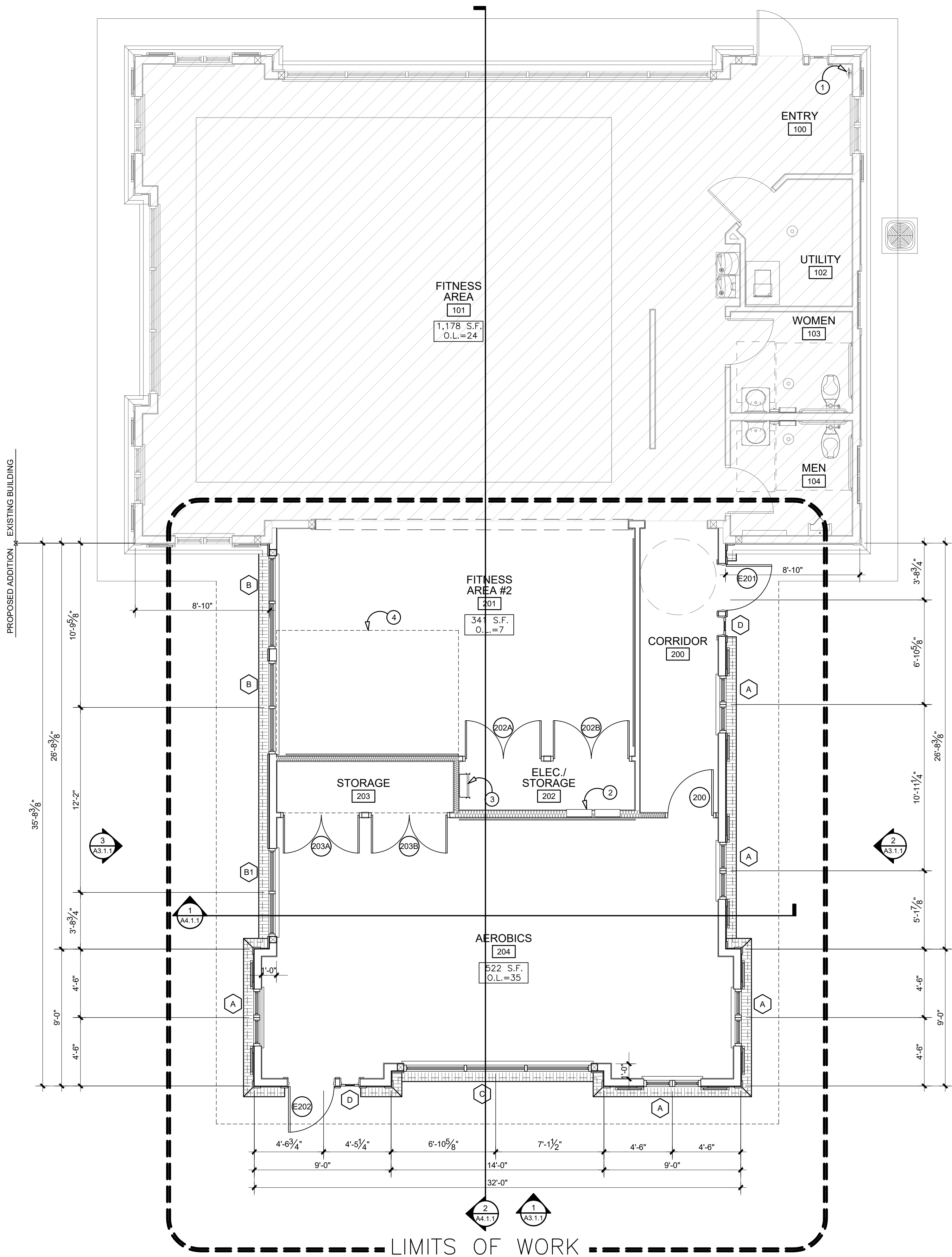
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**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FLOOR UNIT AREA:  
EXISTING - 1,452 S.F.  
ADDITION - 1,105 S.F.  
TOTAL - 2,557 S.F.

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
  - IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - ALL INTERIOR AND EXTERIOR DIMENSIONS GIVEN ARE FROM FACE OF BLOCK, STUD, OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED (U.N.O.).
  - ALL DOORS TO BE LOCATED 6" (VERIFY WIDTH OF DOOR TRIM W/I.D. DRAWINGS) FROM ADJACENT WALL OR COUNTER OR CENTERED IN WALL (U.N.O.).
  - MOISTURE RESISTANT GWB IN RESTROOMS TYP
  - PROVIDE TERMITE PROTECTION PER FBC 1816. REFER TO SPECIFICATIONS.

- KEY NOTES:**
- EXISTING FIRE EXTINGUISHER
  - ELECTRICAL PANELS, RE: ELECTRICAL
  - LADDER TO MECHANICAL PLATFORM ABOVE
  - OUTLINE OF MECHANICAL PLATFORM ABOVE

- PLAN LEGEND**
- INDICATES STUD WALL
  - INDICATES SOUND BATT INSULATION AT INTERIOR PARTITIONS - ALL EXTERIOR STUD WALLS TO RECEIVE BATT INSULATION - REFER TO WALL SECTIONS

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St. Johns County, FL  
**FITNESS CENTER**  
FLOOR PLAN

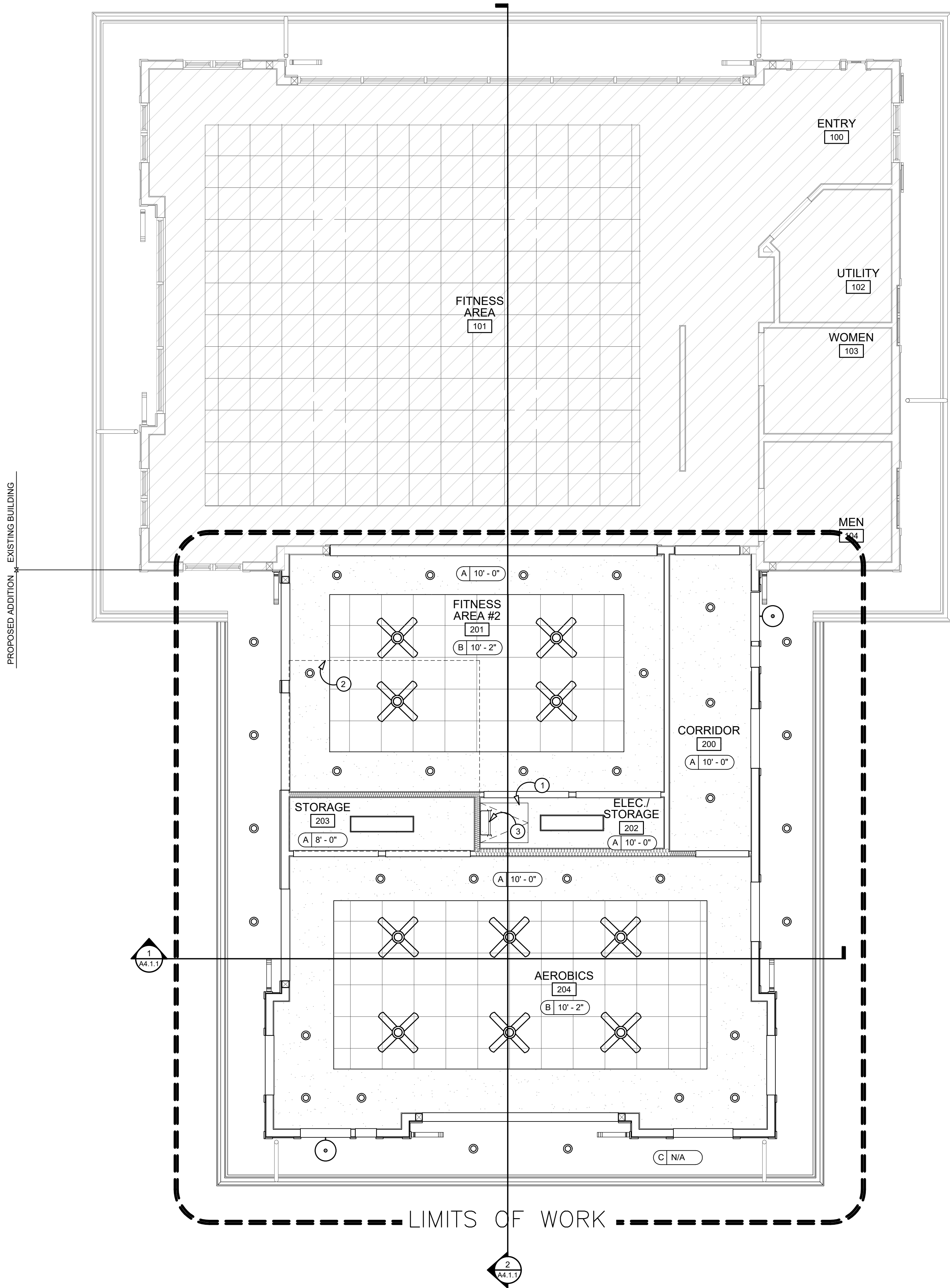
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# REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

## GENERAL NOTES:

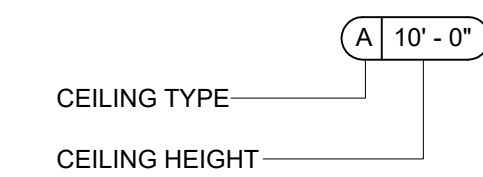
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
- IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- COORDINATE LOCATION OF ALL LIGHTING, CEILING DIFFUSERS, EXIT SIGNAGE AND OTHER CEILING DEVICES WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- PER FBC 2803.4 SPRAY FOAM INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY AN APPROVED THERMAL BARRIER OF 1/2" (MIN.) GYPSUM BOARD OR ANOTHER APPROVED MATERIAL. WHERE A CEILING FINISH OCCURS OTHER THAN GYPSUM BOARD, SUCH AS ACOUSTICAL CEILING TILE AND GRID, GYPSUM BOARD OR AN INTUMESCENT BARRIER SHALL BE PROVIDED ABOVE THE CEILING FINISH TO MAINTAIN THE THERMAL BARRIER REQUIREMENTS. WHERE NO CEILING FINISH OCCURS AND SPRAY FOAM INSULATION IS EXPOSED TO THE INTERIOR OF THE BUILDING, AN APPROVED THERMAL BARRIER SHALL BE PROVIDED.
- ALL CEILINGS SECURED TO THE BOTTOM OF TRUSSES SHALL BE INSTALLED OVER 3/4" FURRING OR PLYWOOD TO PROVIDE A LEVEL SURFACE. FINISH MATERIAL SECURED DIRECTLY TO THE BOTTOM OF TRUSSES IS NOT ACCEPTABLE.
- CEILING FIXTURES INCLUDING MECHANICAL DIFFUSERS AND SPEAKERS SHALL BE PAINTED TO MATCH ADJACENT FINISHES. WHERE ADJACENT FINISH IS STAINED, CONSULT WITH ARCHITECT ON FINISH COLOR.
- CONTRACTOR TO CONFIRM WITH ARCHITECT WHERE CONCEALED VS EXPOSED SPRINKLER HEADS SHALL BE INSTALLED. AT CONCEALED LOCATIONS, SPRINKLER HEAD CAPS SHALL BE PAINTED TO MATCH ADJACENT FINISHES.

## KEY NOTES:

- 30x36 ATTIC ACCESS HATCH, PAINTED TO MATCH ADJACENT CEILING FINISH - CONFIRM HATCH SIZING WITH MECHANICAL - COORDINATE OPENING WITH TRUSS LAYOUT
- MECHANICAL PLATFORM
- LADDER TO MECHANICAL PLATFORM

## CEILING TYPE LEGEND:

- A - GYPSUM BOARD CEILING  
B - 2x2 ACOUSTIC CEILING TILE CEILING  
C - SMOOTH FIBER CEMENT SOFFIT PANEL



## CEILING MATERIAL LEGEND:

- GYPSUM BOARD CEILING  
2X2 ACOUSTIC TILE CEILING GRID  
SMOOTH FIBER CEMENT SOFFIT PANEL TO MATCH EXISTING

## LIGHTING LEGEND:

- 1x4 LIGHT FIXTURE  
EMERGENCY LIGHT  
RECESSED LIGHT FIXTURE  
WALL SCONCE LIGHT FIXTURE  
PENDANT LIGHT FIXTURE  
SURFACE MOUNTED LIGHT FIXTURE  
2X2 LIGHT FIXTURE IN ACT GRID  
EXIT SIGN

## HVAC LEGEND:

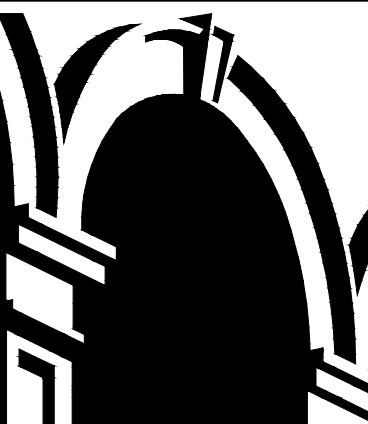
- HVAC SUPPLY AIR DIFFUSER  
HVAC RETURN AIR DIFFUSER  
EXHAUST FAN  
CEILING FAN - PROVIDE BLOCKING SUPPORT AS REQUIRED - VERIFY DESIRED HEIGHT OF FAN BLADES & IF EXTENSION ROD IS REQUIRED.

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prepared for Bannan Lakes, CDD  
**BANNON LAKES**  
St. Johns County, FL  
**FITNESS CENTER**  
REFLECTED CEILING PLAN



**BASHAM & LUCAS**  
DESIGN GROUP, INC.

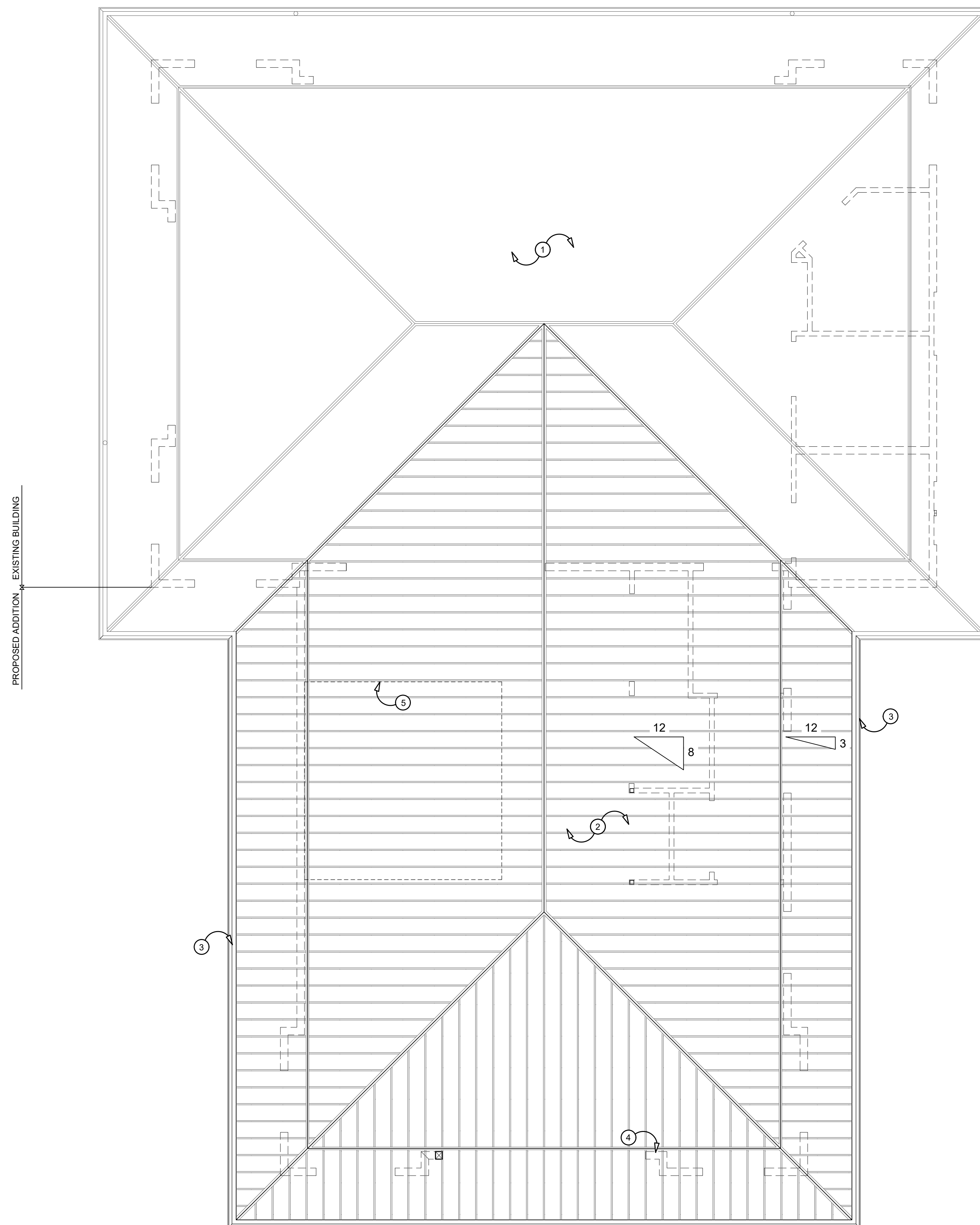
7645 GATE PARKWAY SUITE 101  
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DATE 09-16-25  
JOB NO. 25-28


**A2.2.1**

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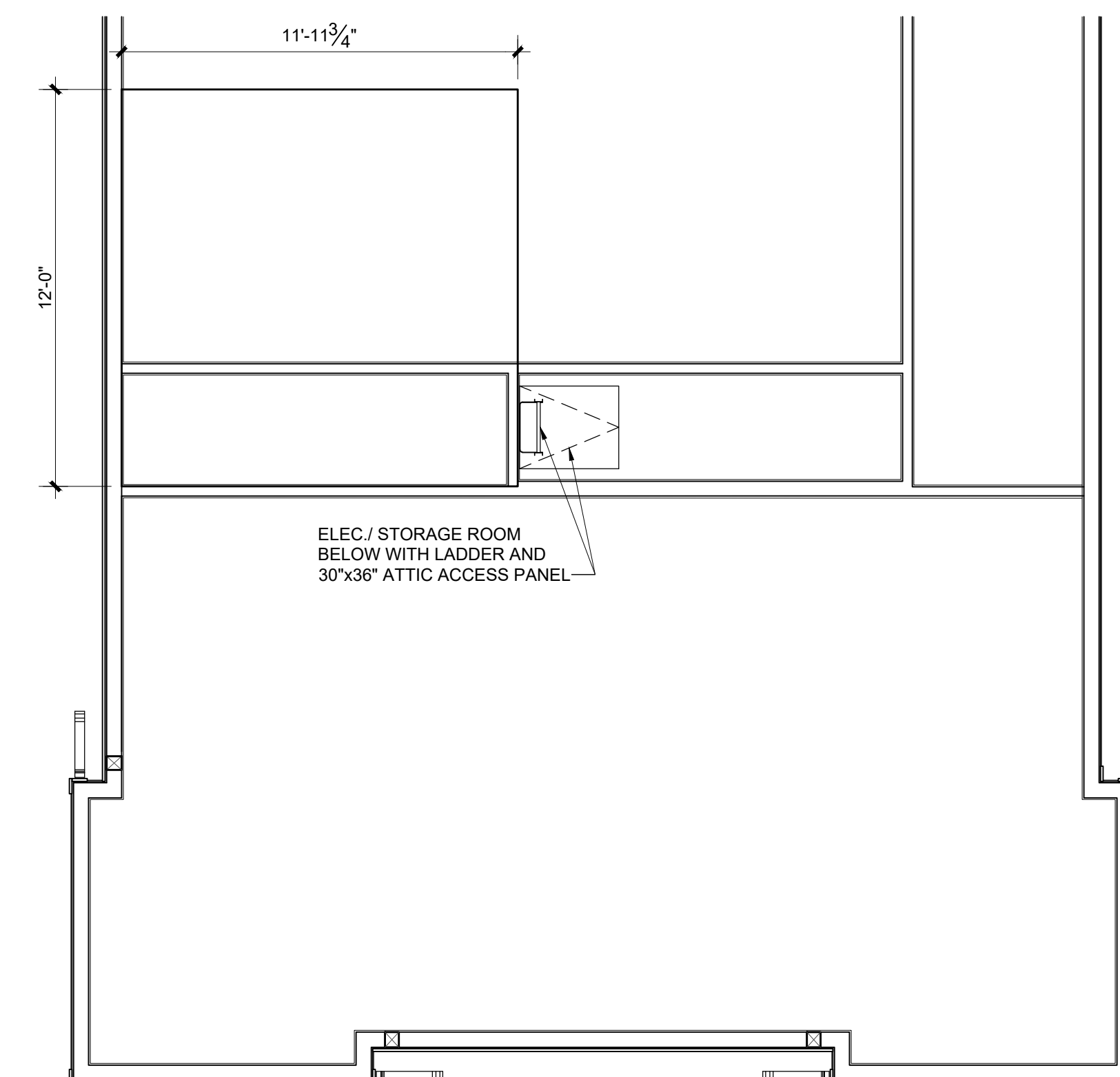
 **1** **ROOF PLAN**  
SCALE: 1/4" = 1'-0"

- ROOFING GENERAL NOTES:

1. REFER TO MECHANICAL AND PLUMBING PLANS FOR ROOF PENETRATION LOCATIONS. PAINT ALL ROOF PENETRATION TO MATCH ROOFING MATERIAL.
2. REFER TO BUILDING AND WALL SECTIONS FOR OVERHANG LENGTHS AND TRUSS PROFILES.
3. REFER TO WALL SECTIONS FOR SIZE AND TYPE OF VENTING AT EAVES.
4.  DENOTES GUTTER WITH DOWNSPOUT. TIE ALL DOWNSPOUTS INTO STORM SEWER, REFER TO CIVIL DRAWINGS.
5. E.F. = EXHAUST FAN - REFER TO MECHANICAL DRAWINGS
6. VTR = VENT THRU ROOF - REFER TO PLUMBING DRAWINGS

- KEY NOTES:

- ① EXISTING ROOF
- ② NEW STANDING SEAM METAL ROOF
- ③ PREFINISHED GUTTER AND DOWNSPOUTS TO MATCH EXSTING, TIE INTO STORM SEWER, RE: CIVIL
- ④ OUTLINE OF WALLS BELOW
- ⑤ MECHANICAL ATTIC PLATFORM BELOW



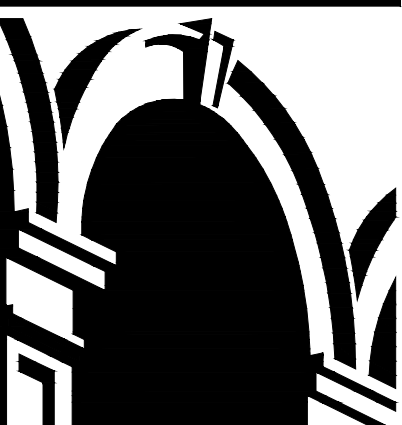
## 2 MECHANICAL ATTIC PLATFORM PLAN

## REVISIONS

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Prepared for: Bannan Lakes, CDD  
St. Johns County, FL  
**FITNESS CENTER**  
**ROOF PLAN**



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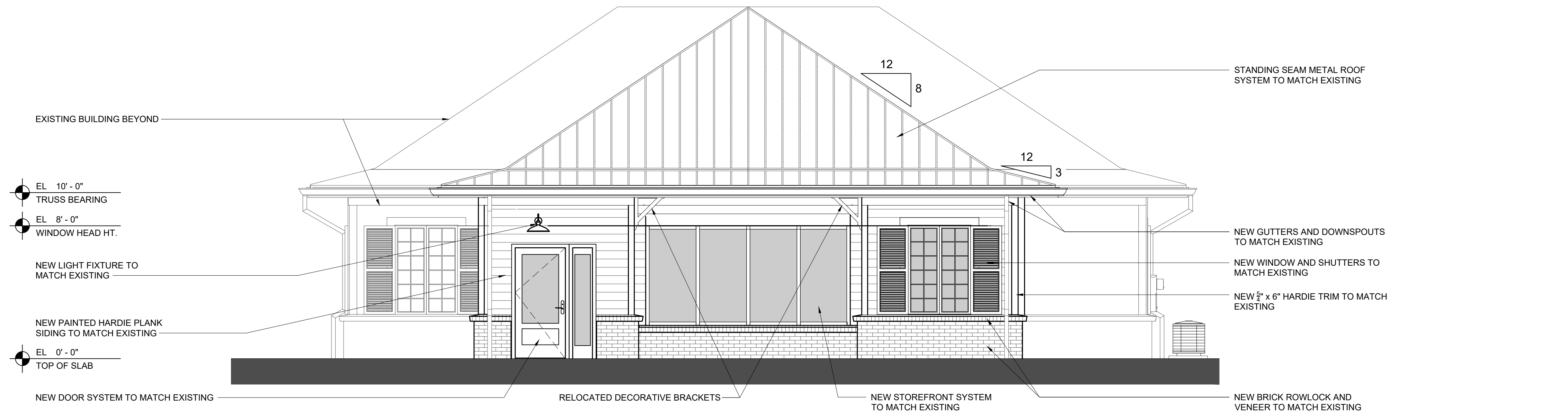
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### A2.3.1

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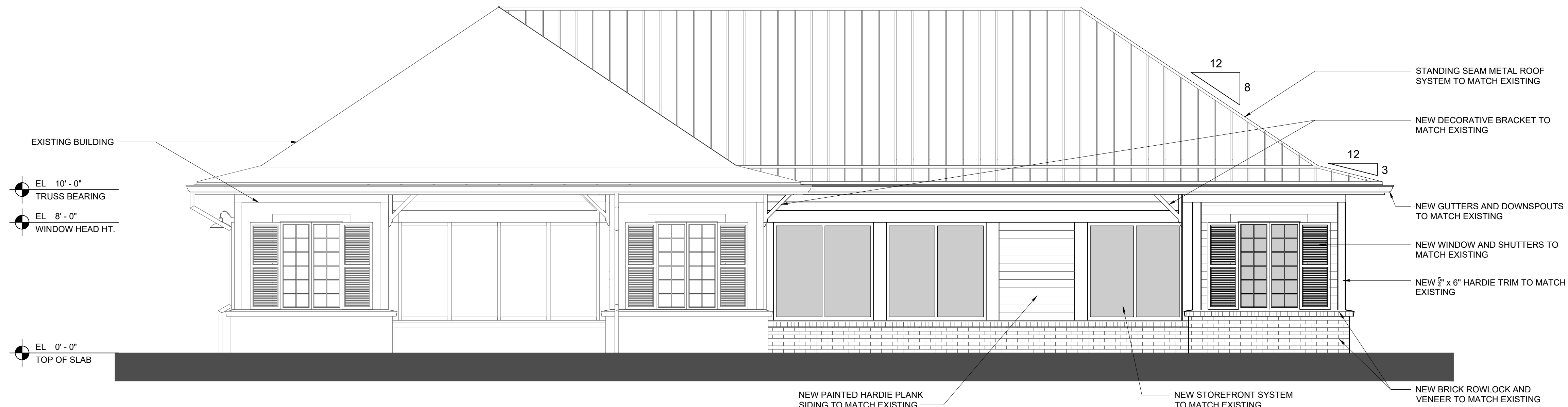




1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



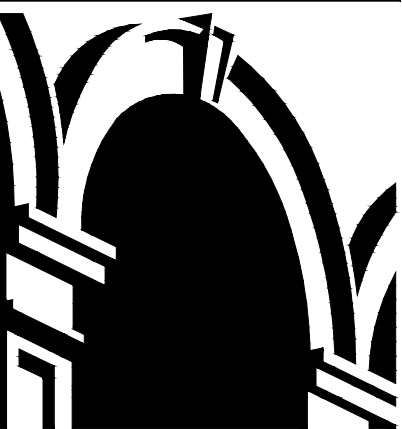
3 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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**BANNON LAKES**  
St. Johns County, FL  
**FITNESS CENTER**  
EXTERIOR ELEVATIONS



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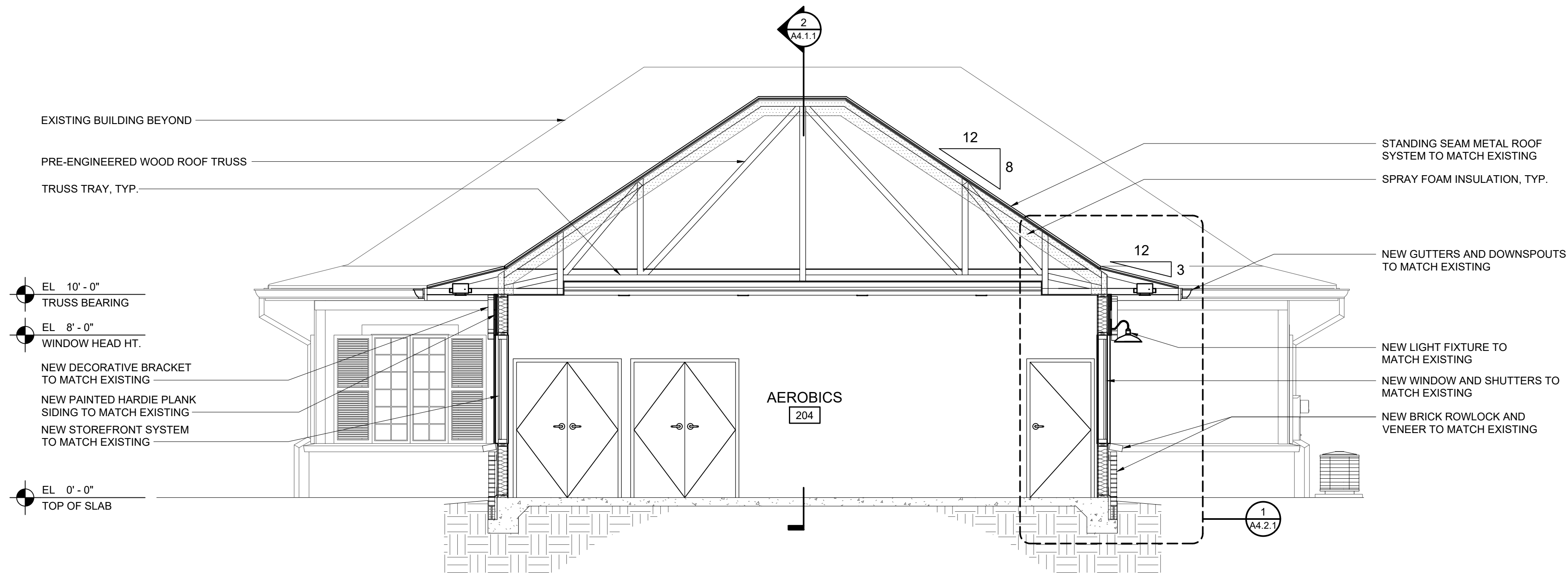
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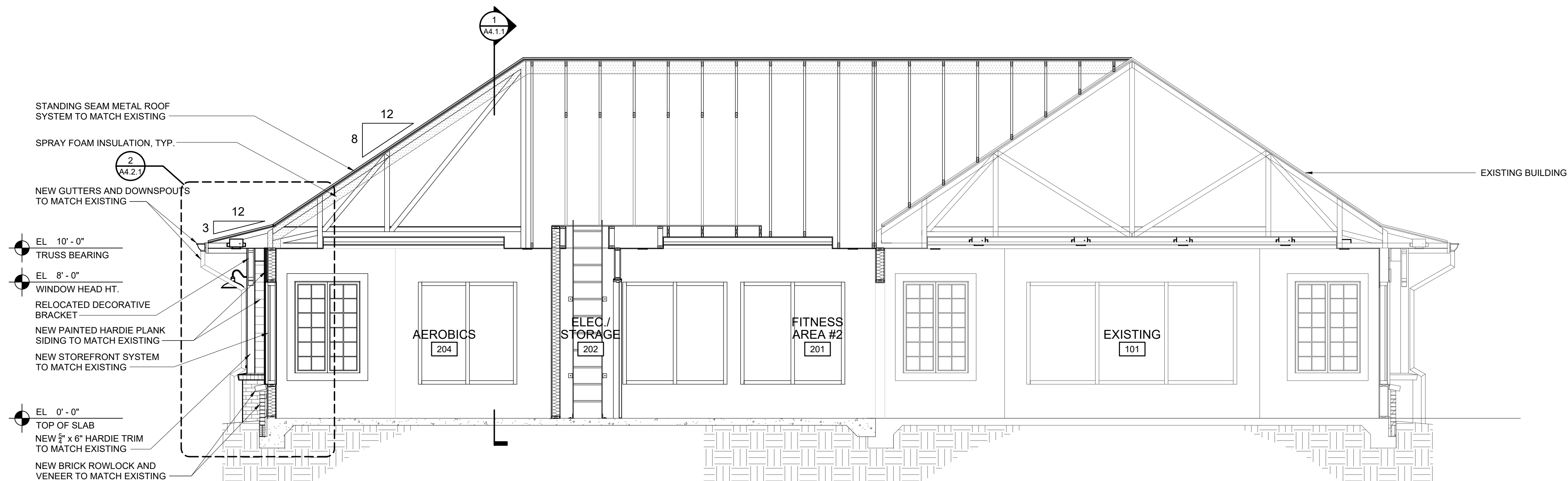
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1 TRAVERSE BUILDING SECTION  
SCALE: 1/4" = 1'-0"



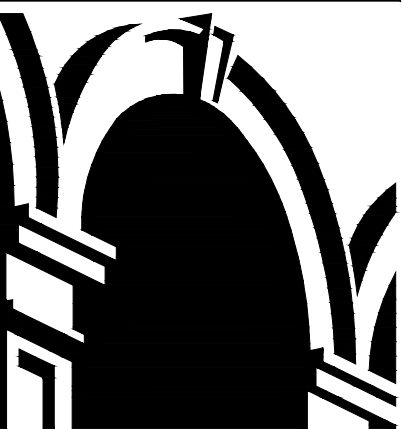
2 LONGITUDINAL BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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prepared for Bannan Lakes, CDD  
**BANNON LAKES**  
St. Johns County, FL  
**FITNESS CENTER**  
BUILDING SECTIONS



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A4.1.1

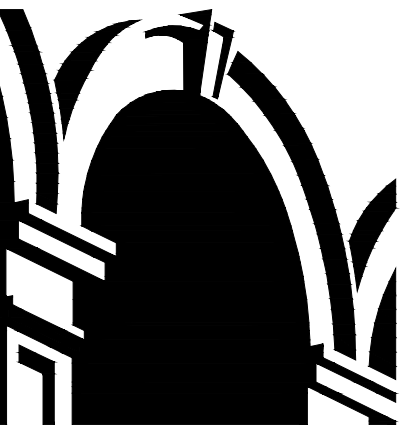
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**BANNON LAKES**  
St. Johns County, FL  
**FITNESS CENTER**  
**WALL SECTIONS**



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& LUCAS**  
DESIGN GROUP, INC.

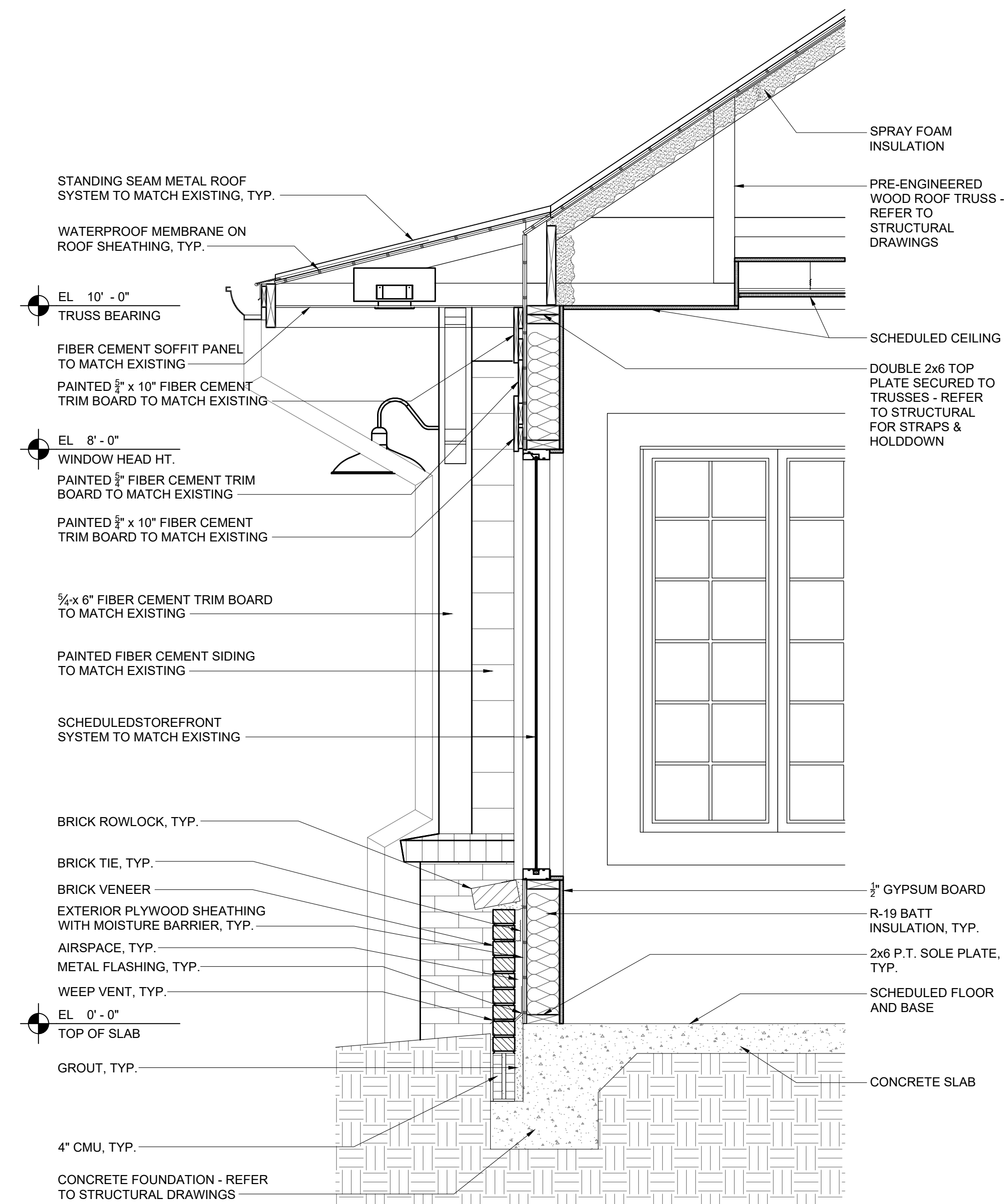
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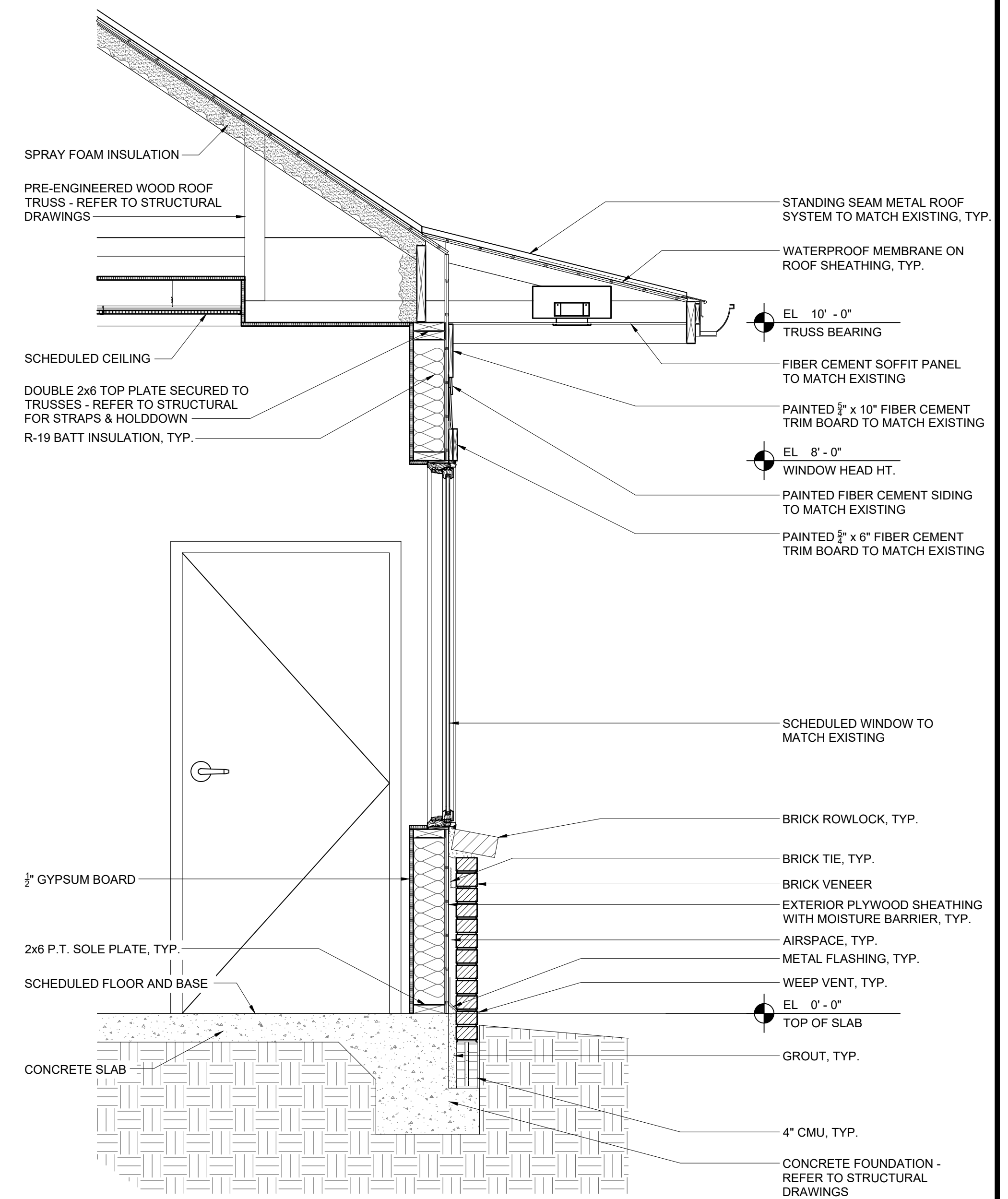
### A4.2.1

REVIEW SET



## 2 WALL SECTION

SCALE: 3/4" = 1'-0"

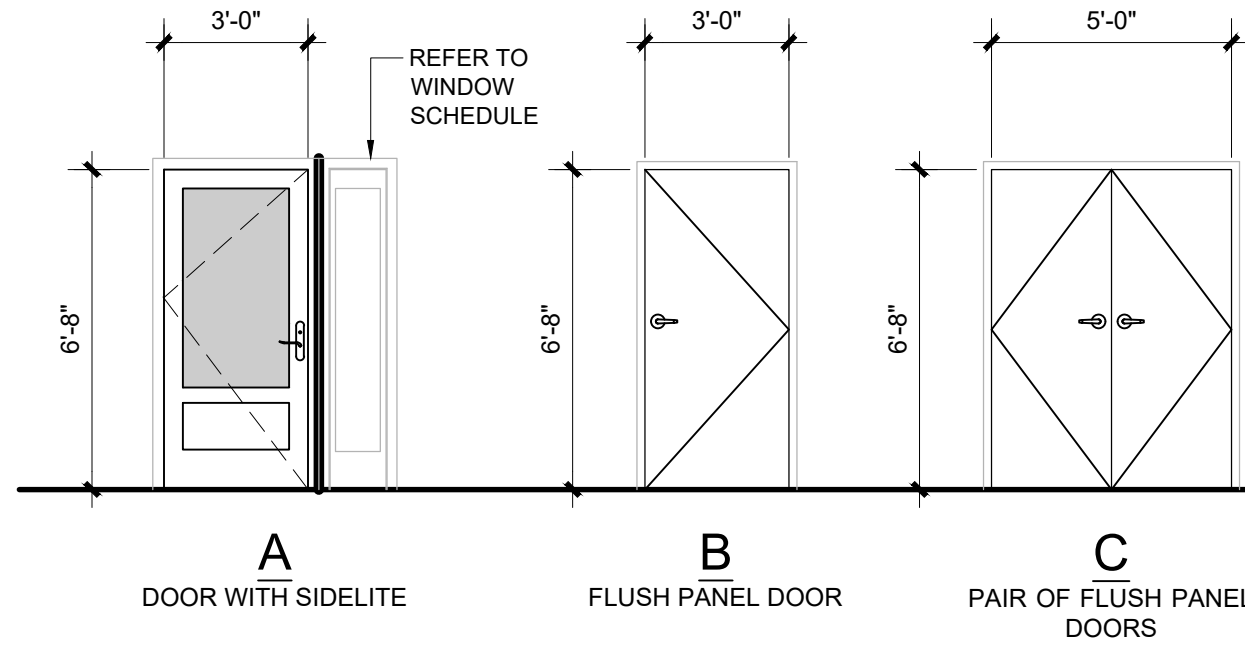


# 1 WALL SECTION

SCALE: 3/4" = 1'-0"

| DOOR SCHEDULE |           |              |          |                    |             |             |            |               |      |      |          |        |                |
|---------------|-----------|--------------|----------|--------------------|-------------|-------------|------------|---------------|------|------|----------|--------|----------------|
| DOOR NO.      | DOOR TYPE | DOOR WIDTH   | DOOR HT. | DOOR MAT'L         | DOOR FIN.   | FRAME MAT'L | FRAME FIN. | FRAME DETAILS |      |      | DR LABEL | HW SET | REMARKS        |
|               |           |              |          |                    |             |             |            | HEAD          | JAMB | SILL |          |        |                |
| E201          | A         | 3'-0"        | 6'-8"    | FIBERGLASS / GLASS | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
| E202          | A         | 3'-0"        | 6'-8"    | FIBERGLASS / GLASS | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
|               |           |              |          |                    |             |             |            |               |      |      |          |        |                |
| 200           | B         | 3'-0"        | 6'-8"    | FIBERGLASS         | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
| 202A          | C         | 5'-0" (PAIR) | 6'-8"    | FIBERGLASS         | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
| 202B          | C         | 5'-0" (PAIR) | 6'-8"    | FIBERGLASS         | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
| 203A          | C         | 5'-0" (PAIR) | 6'-8"    | FIBERGLASS         | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
| 203B          | C         | 5'-0" (PAIR) | 6'-8"    | FIBERGLASS         | PREFINISHED | WOOD        | PAINT      | -             | -    | -    | -        |        | MATCH EXISTING |
|               |           |              |          |                    |             |             |            |               |      |      |          |        |                |

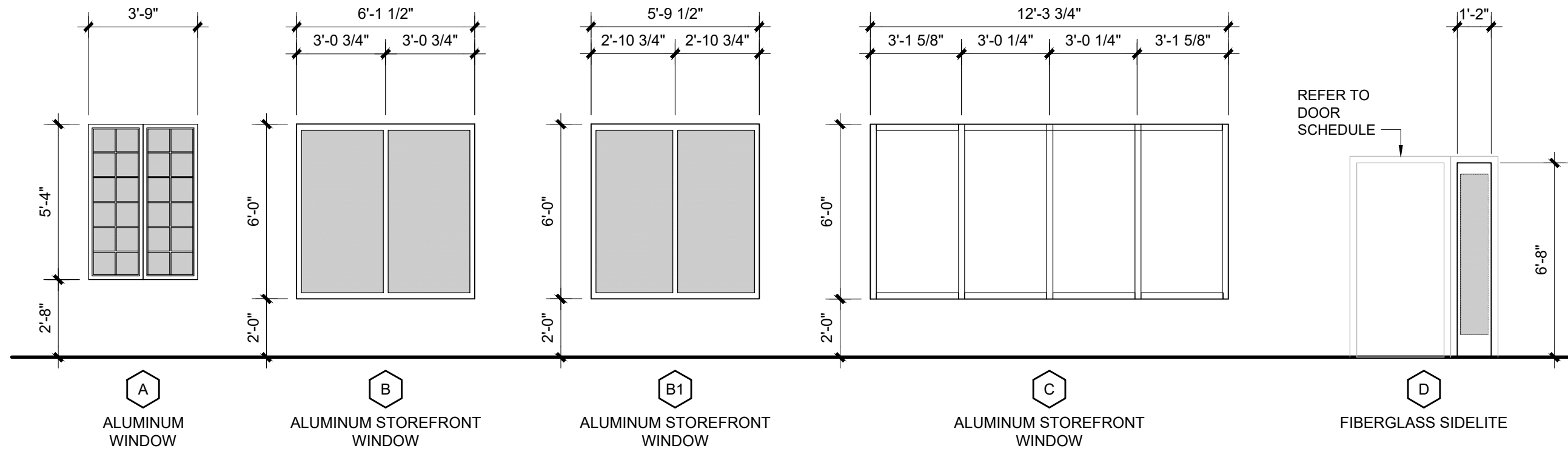
DOOR TYPES



DOOR NOTES

- ALL HARDWARE TO COMPLY WITH ANSI A117.1 - 2017.
- ALL GLAZING IN ALL DOORS AND SIDELITES SHALL BE FULLY TEMPERED UNLESS OTHERWISE NOTED.
- REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SETS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. EGRESS DOOR HARDWARE SHALL COMPLY WITH SECTIONS 1010.2.1 THROUGH 1010.2.4 OF THE 2023 FLORIDA BUILDING CODE, 8th EDITION.
- EXTERIOR DOORS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND IMPACT AND WIND LOADS AS SHOWN ON THE STRUCTURAL DRAWINGS AS DEFINED BY THE 2023 FLORIDA BUILDING CODE, 8th EDITION. ENGINEERED SHOP DRAWINGS AND DOCUMENTED DOOR TESTING SHALL BE SUBMITTED FOR REVIEW.

WINDOW TYPES



WINDOW NOTES

- ALL WINDOW WIDTH & HEIGHT DIMENSIONS ARE GIVEN AS FRAME OPENING SIZES. COORDINATE WITH FLOOR PLANS, SECTIONS AND DETAILS TO FRAME CORRECT ROUGH OR MASONRY OPENING SIZE.
- GENERAL CONTRACTOR TO VERIFY COUNT OF WINDOWS. WINDOW DESIGNATIONS INDICATED OCCURS AT MULTIPLE LOCATIONS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- (T) = FULLY TEMPERED GLASS.
- PRIOR TO INSTALLING SEALANT AND BACKER RODS, ENSURE THAT ALL JOINTS ARE DRY AND FREE FROM DEBRIS.
- COLOR OF SEALANT SHALL MATCH COLOR OF WINDOW FRAME.
- GLAZING IN EXTERIOR STOREFRONTS SHALL BE INSULATED.

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prepared for Bannan Lakes, CDD

BANNON LAKES

St. Johns County, FL

FITNESS CENTER

DOOR SCHEDULE & DETAILS



BASHAM & LUCAS

DESIGN GROUP, INC.

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DATE09-16-25

JOB NO.25-28

A7.2.1

REVIEW SET

*D.*



Highland Products Group/The Park Catalog  
931 Village Blvd Ste 905-354  
West Palm Beach, FL 33409  
Phone : 561-620-7878  
Email : sales@theparkcatalog.com

## Quote#124670

Sales Rep: Cristy Clinard  
Email: [cristy.clinard@theparkcatalog.com](mailto:cristy.clinard@theparkcatalog.com)  
Phone: 800-695-3503 Ext 60309

| Quote Date  | Quote Expiration Date   |
|-------------|-------------------------|
| Jan 9, 2026 | Feb 7, 2026 ( 29 days ) |

### Bill to:

Jeff Johnson  
Bannon Lakes Community  
Development District  
1001 Bradford Way  
Kingston, Tennessee, 37763  
United States  
T: 904-907-4346

### Ship to:

Jeff Johnson  
Bannon Lakes Community  
Development District  
435 Bannon Lakes Blvd  
St. Augustine, Florida, 32095  
United States  
T: 904-660-3669  
C: 904-759-8061

| Product Name                                      | Item #                        | QTY | Price    | Your Price | Unit Discount | Subtotal |
|---|-------------------------------|-----|----------|------------|---------------|----------|
| <b>5 Bike Sonic Wave Rack (2 3/8" Heavy-Duty)</b> |                               |     |          |            |               |          |
| Color: Telegray 4                                 | <a href="#">536-1408-1-52</a> | 1   | \$390.00 | \$360.00   | \$30.00       | \$360.00 |
| Mounting Option: Surface Mount                    |                               |     |          |            |               |          |
| <b>9 Bike Sonic Wave Rack (2 3/8" Heavy-Duty)</b> |                               |     |          |            |               |          |
| Color: Telegray 4                                 | <a href="#">536-1412-2-52</a> | 1   | \$673.00 | \$623.00   | \$50.00       | \$623.00 |
| Mounting Option: In-Ground Mount                  |                               |     |          |            |               |          |

### Quote Notes:

FREIGHT INCLUDES: NOTIFY BEFORE DELIVERY RESIDENTIAL ACCESS

|                     |                   |
|---------------------|-------------------|
| Total Discount      | -\$80.00          |
| Subtotal            | \$983.00          |
| Shipping & Handling | \$442.00          |
| Tax                 | \$0.00            |
| <b>Grand Total</b>  | <b>\$1,425.00</b> |

This quote comes with our BEST PRICE GUARANTEE! If we are not your lowest delivered quote for equivalent product, we will BEAT it! (Exclusions may apply)

Any questions contact us at 800-695-3503 or [cristy.clinard@theparkcatalog.com](mailto:cristy.clinard@theparkcatalog.com)

**PAY NOW**  
WITH A CREDIT CARD

Quote Expiration Date: Feb 7, 2026

**IF YOUR QUOTE HAS EXPIRED, PLEASE CONTACT  
YOUR SALES REP BEFORE SUBMITTING PAYMENT**

## TERMS & CONDITIONS

### SHIPPING:

Deliveries are made during normal business hours, 8am - 5pm Monday - Friday. Unless otherwise noted, shipping charges include standard delivery only. Standard delivery charges are for Tailgate delivery to any commercial location on a commercial truck route; the truck driver will not offload the delivery. It is Customers responsibility to provide adequate personnel and/or equipment to unload the shipment from the truck when it arrives. The truck driver is under no obligation to help you unload. If you require anything other than standard delivery, we have the following additional services available for purchase at time of order placement:

### Additional Delivery Services

- **Residential Delivery:** If the ship to address is not a commercial location, on a commercial truck route or is in a residential area, you must order "Residential Delivery Service" at an additional charge.
- **Limited Access Delivery:** This is common LTL delivery for small businesses, restaurants, schools, churches, concert venues, theaters, or other locations that do not have a loading dock.
- **Liftgate Service:** This service includes the driver utilizing a lift gate on the rear of the truck. The driver is responsible for lowering your shipment to the ground only. Once delivery is at ground level it is your responsibility to move the shipment from the delivery point to its destination
- **Notify Before Delivery:** Notify before delivery indicates that the receiver needs to be called before arrival. The carrier will call 24-48 hours prior to make a delivery appointment. If the receiver cannot be reached, these shipments can result in significant delays or additional redelivery fees.
- **Inside Delivery:** If this service is required, please reach out to one of our Sales Representative as we cannot be responsible for online quotes with this service. This service requires specifics that must be communicated to the carrier prior to getting a shipping quote.
- **Redelivery Fee:** This charge will occur when a delivery is unsuccessful on the first try and the carrier must try to deliver the shipment a second time. Redeliveries occur within the carrier's available timeframe.
- **Construction Site Delivery:** This charge is for any destination that is under construction and requires an LTL truck to navigate a construction site.

**Shipping Service Discrepancies** - If there is a discrepancy in the services requested and the minimum services required to deliver the product, the Customer agrees to pay and The Park Catalog reserves the right to charge the customer for any necessary additional services provided at the time of delivery.

**Shipment Inspection Required** - It is the customer's responsibility to inspect all deliveries for possible damage, correct quantities and to note any discrepancies on the freight bill PRIOR to signing the delivery receipt provided by the driver. All damage claims MUST be recorded on the delivery receipt and reported within 48 hours of delivery. The Park Catalog does NOT GUARANTEE replacements parts or products FREE of charge due to concealed or unreported damages.

### Assembly May Be Required:

Most of our product's ship Knocked down and on commercial pallets to minimize freight damages and reduce freight cost.

### CANCELLATIONS:

No order can be cancelled unless first authorized and confirmed in writing by The Park Catalog Team. Made-to-Order items already in production may not be cancelled. If a cancellation is authorized, charges may apply based on the stage the order is in.

### RETURNS:

We will accept returns of unopened/unused products, up to 30 days from the shipping date, subject to ALL the following terms and conditions:

- **Approval:** Written approval and instructions must be issued by our Customer Service Department before any merchandise can be returned.
- **Shipping Returns:** All merchandise must be returned in its original packaging, freight Prepaid. No Collect shipments are accepted.
- **Re-Stocking & Shipping Fees:** The customer is responsible for a minimum 25% re-stocking fee and all related shipping charges on product returned for reasons other than damage or defect. Original shipping charges will not be refunded.
- **Online Orders:** For online orders, The Park Catalog is not responsible if the customer orders incorrect product or colors. All return and restock fees apply.
- **Personalized** - These items are **NOT** eligible for return unless a defect in manufacturing is presented to us with pictures prior to return.
- **Refunds:** refunds will be issued on returned merchandise **AFTER** shipment is received and inspected at our warehouse and the goods are deemed to be resaleable and free of damages.

### Payment options:

**Credit Card:** To maintain a safe environment for credit card transactions, we utilize a credit card processing company that partners with companies who transmit or process card information in a secure environment which complies with the Payment Card Industry Data Security Standard (PCI DSS). In compliance with the payment card industry data security standards, The Park Catalog cannot accept credit card payment information via Email/Fax/US Mail/Telephone/Voice Mail. A secure payment link will be sent via email to allow your transaction to be completed.

**Check:** Payable to Highland Products Group or The Park Catalog, 931 Village Blvd Ste 905-354, West Palm Beach, FL 33409

**ACH:** You will find ACH/Wire information on the pages following your proposal

**Purchase Order:** We accept purchase orders from Government/Municipal entities, Public Schools, non-private Colleges, and Universities to name a few. All other customer types must speak with a sales representative for qualifications to utilize a purchase order.

### Force Majeure:

No Party to this Agreement shall be responsible for any delays or failure to perform any obligation under this agreement due to acts of God, outbreaks, epidemic/pandemic or the spreading of disease or contagion strikes or other disturbances, including, without limitation, war, insurrection, embargoes, governmental restrictions, acts of governments or governmental authorities, and any other cause beyond the control of such party. During an event of force majeure, the Parties' duty to perform obligations shall be suspended.

To accept this proposal:

Sign Here: \_\_\_\_\_ Date: \_\_\_\_\_

*E.*



WWW.ROADWAYSIGNS.COM

# Solar Powered Flashing LED Traffic Signs

Roadway Signs has partnered with all of the right people to bring affordable, reliable, and easy to install solar powered flashing LED traffic signs to cities and counties nationally. With over 20-years of LED lighting technology experience, Roadway Signs is a one-stop-shop for customers.

Equipment, service and installation is seamless with a dedicated sales representative available throughout the process. We value our customers.

## We Specialize in Quality



### BS EN 12899-1:2007 CLASS RA1

- Non-critical traffic signs
- Engineer Grade Sheeting (EGP)
- Class RA1 reflective pressure
- Graffiti guard options available
- .063 and .080 aluminum

### BS EN 12899-1:2007 CLASS RA2/R2

- High Intensity Prismatic Sheeting (HIP)
- Traffic signs/work zone devices
- Improved long distance and nighttime visibility
- Reflective return of at least 22%

### BS EN 12899-1:2007 CLASS R3A, R3B, R3C

- Diamond Grade Prismatic Sheeting (DG3)
- Reflective return of at least 58%
- Higher visibility for critical traffic sign visibility
- Long lasting lifetime value

## Our Products

### Solar Power LED Technology

- LED Lighting is brighter than most halogens
- They are more efficient than all halogens
- Solar Power LED lighting is 100% the most cost effective, sustainable traffic sign option
- Solar Power works even on a cloudy day
- LED signs improve community safety

### EGP Traffic Signs

- Engineer grade prismatic reflective sheeting
- High visibility and all weather performance
- Increased community safety

### Sign Posts

- Variety of sign post options including: I-Beam, Round, Square, U-Channel, with installation option



## Contact Us



[sales@roadwaysigns.com](mailto:sales@roadwaysigns.com)



GB, DOT, MUTCD, ASTM, BS EN, OSHA

# Solar Powered Flashing LED Traffic Signs

**We Specialize in Quality**

**WWW.ROADWAYSIGNS.COM**



**ROADWAY  
SIGNS**



## Sign Installation

Roadway Signs works with everyone from engineers to city managers, and all the staff in-between.

If you don't already know what you're looking for, there are eight different categories of roadway signs. Each sign has unique requirements on size, font, border or outline, shapes, and more.

Our Sales and Installation Professionals help customers find the right direction if they are unsure.

Installation is easy at Roadway Signs! We work with qualified installation specialist to ensure that safety is a priority when transitioning to LED flashing traffic signs.

## SAFETY - QUALITY - VALUE ROADWAY SIGNS



**REGULATORY**



**WARNING**



**GUIDE**



**SERVICES**



**CONSTRUCTION**



**RECREATION**



**SCHOOL ZONE**



**INCIDENT**

**SOLAR LED TRAFFIC SIGNS**

**Contact Us**



[sales@roadwaysigns.com](mailto:sales@roadwaysigns.com)

GB, DOT, MUTCD, ASTM, BS EN, OSHA

# Solar Powered Flashing LED Traffic Signs



**We Specialize in Quality**

[WWW.ROADWAYSIGNS.COM](http://WWW.ROADWAYSIGNS.COM)



**ROADWAY  
SIGNS**

**1**

## **RED**

Regulatory. Mandatory. Prohibitive.

Examples: Stop, Wrong Way, Do Not Enter, Yield

**2**

## **ORANGE**

Construction. Maintenance. Closures. Road Limitations.

Examples: Roadwork Ahead, Workers Ahead, Road Closed, Shoulder Work, Uneven Pavement, Work Zone

**3**

## **YELLOW**

Advisory. Warning.

Examples: School Crossing, School, Lane Ending, Sharp Turn Ahead

**4**

## **FLUORESCENT YELLOW GREEN**

High Emphasis on Area Pedestrians

Examples: schools, Bicycles, Playgrounds, and School Bus Stop

**5**

## **PINK**

Incident Management

Examples: Motor Vehicle Accident, Oil Spill

**6**

## **WHITE**

Regulatory.

Examples: Speed Limit, Right Turn Only, Highway Marker

**7**

## **GREEN**

Guidance. Directional.

Examples: City. County. State.

**8**

## **BLUE**

Public Services

Examples: Hospital, Parking

**9**

## **BROWN**

Recreational. Public Interest. Historical. Landmark.

Example: National Forest

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ROADWAY  
SIGNS

# SOLAR POWER FLASHING LED RADAR SPEED SIGN



ROADWAY  
SIGNS

## DISPLAY DIMENSIONS

- **MIN 4" Digital Display**
  - Static "Your Speed" Text
  - Ultra Low Power Consumption
- **MID 6" Digital Display**
  - Static "Your Speed" Text
  - Ultra Low Power Consumption
- **FULL 15" Digital Display**
  - Static "Your Speed" Text
  - Ultra Low Power Consumption

## LED VARIATIONS

- **Variable LED Mode**
  - **Stealth**
    - Collect Baseline Traffic Data
  - **Speed Alert Strobe**
    - Program Strobe at Speed Threshold

## SIGN PLATE

- **MIN 30" x 30"**
  - Conventional
  - Single Lane Road
- **MID 36" x 36"**
  - Conventional
  - Multi-Lane Rd and Expressway

## SOLAR BATTERY

- Ultra Low Power Consumption
- Solar Compatibility
- Cloud Ready
- Battery Backup
- Universal Mounting
- Trailer Compatibility
- Dolly and Hitch Compatibility
- Assurance Warranty



## Installation

### Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, no AC power required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

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# SOLAR POWERED FLASHING LED STOP SIGN



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## MUTCD SIZE OPTIONS

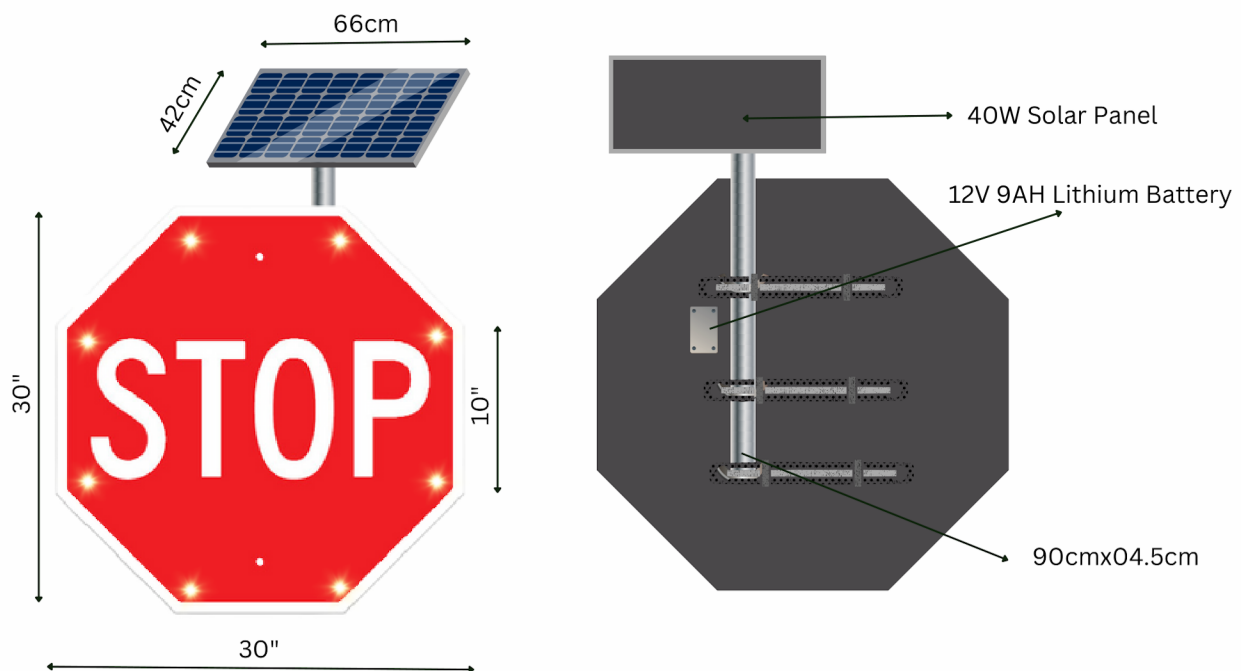
- **MIN 30" x 30"**
  - Conventional
  - Single Lane Road
- **MID 36" x 36"**
  - Conventional
  - Multi-Lane Rd and Expressway
- **OVR 46" x 48"**
  - Oversized
  - Special Application

## VISIBILITY RATING

- **Reflective Sheeting**
  - Functional Day or Night
- **Low Power LED technology**
  - Ensures ongoing compliance
- **Highway grade**
  - .080 aluminum
  - construction is weatherproof
  - highly reflective
- **LEDs automatic dim**
  - timed dimming to reduce glare for motorist

## SOLAR OPTIONS

- Solar Powered
- Off-grid power generation
- Full charge = 288 flashing hours
- Automatic evening LED dimming
- High intensity LED unison flash one per second
- Activation: Continuous 24/7
- Programmable Timer, or Wireless Push



## Installation

### Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, AC power available, but not required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

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# SOLAR POWERED FLASHING LED CROSSWALK SIGN



ROADWAY  
SIGNS

## MUTCD SIZE OPTIONS

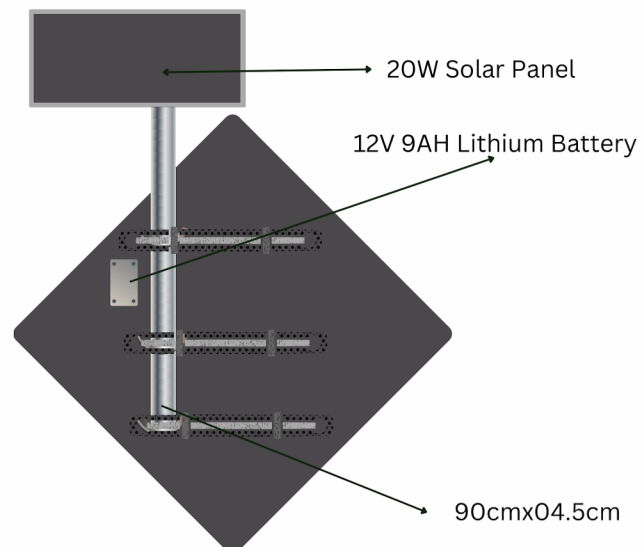
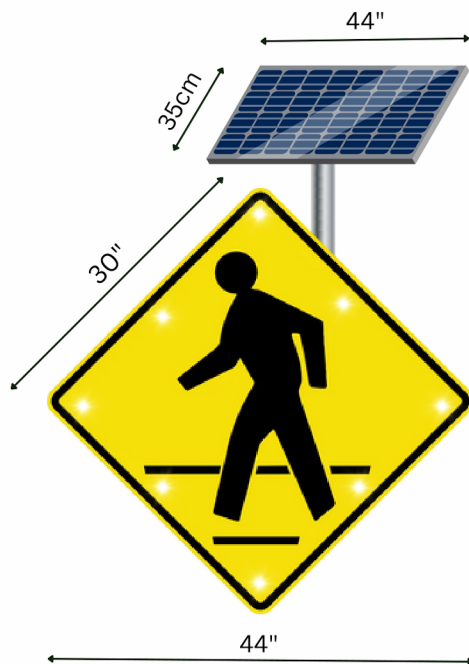
- **MIN 30" x 30"**
  - Conventional
  - Single Lane Road
- **MID 36" x 36"**
  - Conventional
  - Multi-Lane Rd and Expressway
- **OVR 46" x 48"**
  - Oversized
  - Special Application

## VISIBILITY RATING

- **Reflective Sheeting**
  - Functional Day or Night
- **Low Power LED technology**
  - Ensures ongoing compliance
- **Highway grade**
  - .080 aluminum
  - construction is weatherproof
  - highly reflective
- **LEDs automatic dim**
  - timed dimming to reduce glare for motorist

## SOLAR OPTIONS

- Solar Powered
- Off-grid power generation
- Full charge = 288 flashing hours
- Automatic evening LED dimming
- High intensity LED unison flash one per second
- Activation: Continuous 24/7
- Programmable Timer, or Wireless Push



## Installation

### Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, AC power available, but not required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

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# International Safety



ROADWAY  
SIGNS



MIXED BUNDLE DISCOUNT ELIGIBLE  
STOP SIGN



MIXED BUNDLE DISCOUNT ELIGIBLE  
STOP SIGN



MIXED BUNDLE DISCOUNT ELIGIBLE  
STOP SIGN



MIXED BUNDLE DISCOUNT ELIGIBLE  
STOP SIGN



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STOP SIGN



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STOP SIGN



MIXED BUNDLE DISCOUNT ELIGIBLE  
CUSTOM SIGN



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## HOW TO REACH US



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720-244-2001



[sales@roadwaysigns.com](mailto:sales@roadwaysigns.com)



Aurora, Colorado, USA



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ESTIMATE

EpicStar LED LLC  
10940 S Parker Rd  
Ste 465  
Parker, CO 80134-3961

scott@epicstarled.com  
+1 (720) 244-2001

Bill to  
Matt Biagetti  
Bannon Lakes CDD  
475 W Town Place  
Ste. 114  
St. Augustine, FL 32092

Ship to  
Matt Biagetti  
Bannon Lakes CDD  
475 W Town Place  
Ste. 114  
St. Augustine, FL 32092

Estimate details  
Estimate no.: 1151  
Estimate date: 02/03/2026  
Expiration date: 03/03/2026

| #  | Product or service         | Description   | Qty | Rate       | Amount     |
|----|----------------------------|---|-----|------------|------------|
| 1. |                            | Roadway Signs (Div of EpicStar LED LLC)   |     |            |            |
| 2. | Solar Radar Speed sign HOA | Roadway Signs (Div of EpicStar LED LLC)<br><br>Solar Radar Speed Sign Kit<br>Display color: Green, Red<br>(Yellow is available)<br>Electrical (Solar Type)<br>Power Supply: DC12V 80W<br>Solar Module<br>Battery:12V 32AH<br>Speed Range:1Km/h-250Km/h<br>Working Frequency:24.15GHz<br>Antenna angel:30°*16°<br>Voltage:9-24V<br>Current:40mA@12V<br>Sensor size:69*53*10mm.<br>Output power:21dBm<br>Frame size:660mm*<br>430mm*150mm<br>Parameter setting Bluetooth;<br>Data collection and download:<br>Flash disk & app download<br>LED display size:295mm H<br>*370mm W; 265mm H*370mm<br>W<br>Material: metal plate<br>SLOW DOWN: When the car<br>drives overspeed, SLOW DOWN<br>displayed and flashing. | 2   | \$2,800.00 | \$5,600.00 |

LED display size:295mm H  
\*370mm W; 265mm H\*370mm  
W  
Reflective film: 3M IV. (as shown  
in the picture)  
Waterproof Grade:IP55

|    |                         |  |   |            |            |
|----|-------------------------|--|---|------------|------------|
| 3. | <b>Radar Speed Sign</b> | Solar Radar Speed Sign Kit<br>18" x 24" Sign<br>Your Speed / White w/ Black Letters<br>Secure Steel Cabinet w/ Powder Coating<br>Radar Unit<br>Upgraded Solar Panel and Battery<br>40W / 24Ah<br>3M Diamond Reflective Film<br>Waterproof<br>Mounting Hardware<br>DOT MUTCD Standard | 2 | \$3,450.00 | \$6,900.00 |
| 4. | <b>Shipping</b>         | Shipping   | 2 | \$145.00   | \$290.00   |
| 5. | <b>Sign Post</b>        | 10 ft. Square Sign Post / 3 ft Underground<br>Base / Bolt Kit<br>Galvanized Steel<br>Telespar with Mounting Holes  | 2 | \$285.00   | \$570.00   |
| 6. | <b>Shipping</b>         | Shipping   | 2 | \$185.00   | \$370.00   |
| 7. | <b>Speed Limit Sign</b> | Speed Limit Sign<br>18" x 24"<br>Speed Limit 40 / White w/ Black Letters<br>3M Diamond Reflective Film   | 2 | \$165.00   | \$330.00   |
| 8. | <b>Shipping</b>         | Shipping   | 2 | \$65.00    | \$130.00   |

**Total** **\$14,190.00**

Expiry  
date 03/03/2026

Accepted date Accepted by

## *FIFTH ORDER OF BUSINESS*

*A.*

|             |  |           |  |      |  |
|-------------|--|-----------|--|------|--|
| Project     |  | Catalog # |  | Type |  |
| Prepared by |  | Notes     |  | Date |  |



## Lumark

### Prevail LED

Area / Site Luminaire

#### Product Features



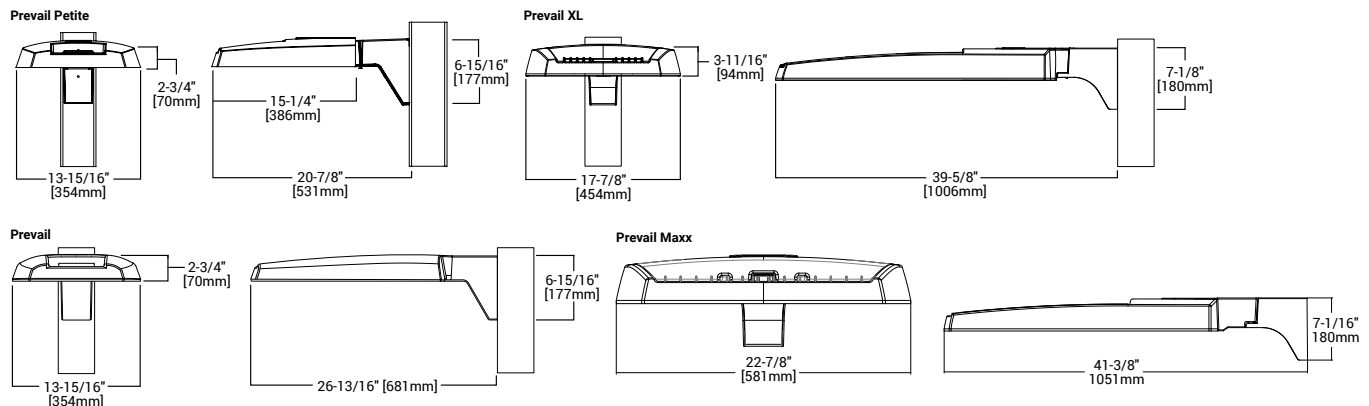
#### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

#### Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

#### Dimensional Details



**NOTES:**  
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
 2. IDA Certified for 3000K CCT and warmer only.

#### Product Certifications



#### Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

## Ordering Information

SAMPLE NUMBER: PRV-XL-C75-740-D-UNV-T4-SA-BZ

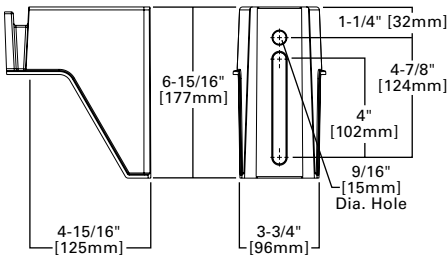
| Product Family <sup>1,2</sup>   | Light Engine <sup>4</sup>   | Color Temperature   | Driver  | Voltage  | Distribution   | Mounting   | Color  |  |  |
|---|---|---|---|--|--|--|--|--|--|
| <b>PRV-P</b> =Prevail Petite<br><b>BAA-PRV-P</b> =Prevail Petite BAA Compliant <sup>3</sup><br><b>TAA-PRV-P</b> =Prevail Petite TAA Compliant <sup>3</sup><br><b>BABA-PRV-P</b> =Prevail Petite BABA Build America Buy America Act Compliant <sup>30</sup>  | <b>C10</b> =(1 LED) 4,900 Nominal Lumens<br><b>C15</b> =(1 LED) 6,900 Nominal Lumens<br><b>C20</b> =(1 LED) 9,800 Nominal Lumens<br><b>C25</b> =(1 LED) 11,800 Nominal Lumens   | <b>740</b> =70CRI, 4000K<br><b>727</b> =70CRI, 2700K<br><b>730</b> =70CRI, 3000K<br><b>750</b> =70CRI, 5000K<br><b>8540</b> =85CRI, 4000K | <b>D</b> =Dimming (0-10V)   | <b>UNV</b> =Universal (120-277V)<br><b>H</b> =High Voltage, 347-480V<br><b>8</b> =480V <sup>5</sup><br><b>9</b> =347V<br><b>DV</b> =DuraVolt (277-480V) <sup>5,6</sup> | <b>T2</b> =Type II<br><b>T3</b> =Type III<br><b>T4</b> =Type IV<br><b>T5</b> =Type V | <b>SA</b> =QM Standard Versatile Arm<br><b>MA</b> =QM Mast Arm<br><b>FMA</b> = Fixed Mast Arm <sup>26</sup><br><b>WM</b> =QM Wall Mount Arm<br><b>ADJA-WM</b> =Adjustable Arm-Wall Mount <sup>28</sup><br><b>ADJA</b> =Adjustable Arm-Pole Mount <sup>28</sup><br><b>ADJS</b> =Adjustable Arm-Slipfitter, 3" vertical tenon <sup>28</sup><br><b>SP2</b> =Adjustable Arm-Slipfitter, 2 3/8" vertical tenon <sup>26,28</sup>   | <b>BZ</b> =Bronze<br><b>AP</b> =Grey<br><b>BK</b> =Black<br><b>DP</b> =Dark Platinum<br><b>GM</b> =Graphite Metallic<br><b>WH</b> =White |  |  |
| <b>PRV</b> =Prevail<br><b>BAA-PRV</b> =Prevail BAA Compliant <sup>3</sup><br><b>TAA-PRV</b> =Prevail TAA Compliant <sup>3</sup><br><b>BABA-PRV</b> =Prevail BABA Build America Buy America Act Compliant <sup>30</sup>  | <b>C15</b> =(1 LED) 7,100 Nominal Lumens<br><b>C25</b> =(2 LEDs) 13,100 Nominal Lumens<br><b>C40</b> =(2 LEDs) 17,100 Nominal Lumens<br><b>C60</b> =(2 LEDs) 20,000 Nominal Lumens  |   |   |  |  |  |  |  |  |
| <b>PRV-XL</b> =Prevail XL<br><b>BAA-PRV-XL</b> =Prevail XL BAA Compliant <sup>3</sup><br><b>TAA-PRV-XL</b> =Prevail XL TAA Compliant <sup>3</sup><br><b>BABA-PRV-XL</b> =Prevail XL BABA Build America Buy America Act Compliant <sup>30</sup>  | <b>C75</b> =(4 LED) 26,100 Nominal Lumens<br><b>C100</b> =(4 LED) 31,000 Nominal Lumens<br><b>C125</b> =(4 LED) 36,000 Nominal Lumens<br><b>C150</b> =(6 LED) 41,100 Nominal Lumens<br><b>C175</b> =(6 LED) 48,600 Nominal Lumens   |   |   |  |  |  |  |  |  |
| <b>PRV-M</b> =Prevail Maxx<br><b>BAA-PRV-M</b> =Prevail Maxx BAA Compliant <sup>3</sup><br><b>TAA-PRV-M</b> =Prevail MaxxTAA Compliant <sup>3</sup><br><b>BABA-PRV-M</b> =Prevail Maxx BABA Build America Buy America Act Compliant <sup>30</sup>   | <b>C200</b> =(9 LED) 48,000 Nominal Lumens<br><b>C225</b> =(9 LED) 56,000 Nominal Lumens<br><b>C250</b> =(9 LED) 65,000 Nominal Lumens<br><b>C275</b> =(9 LED) 73,000 Nominal Lumens  |   |   |  |  |  |  |  |  |
| Options (Add as Suffix)   |   |   | Accessories (Order Separately) <sup>20,21</sup>   |  |  |  |  |  |  |
| <b>CC</b> =Coastal Construction finish <sup>9</sup><br><b>HSS</b> =House Side Shield <sup>7</sup><br><b>L90</b> =Optics Rotated 90° Left<br><b>R90</b> =Optics Rotated 90° Right<br><b>10K</b> =10kV/10kA UL 1449 Fused Surge Protective Device<br><b>20MSP</b> =20kV MOV Surge Protective Device<br><b>20K</b> =20kV UL 1449 Fused Surge Protective Device<br><b>HA</b> =50°C High Ambient Temperature <sup>8</sup><br><b>PR</b> =NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>10</sup><br><b>PR7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>10</sup><br><b>FADC</b> =Field Adjustable Dimming Controller <sup>29</sup><br><b>MS/DIM-L08</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting Height <sup>11,12</sup><br><b>MS/DIM-L20</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting Height <sup>11,12</sup><br><b>MS/DIM-L40</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting <sup>11,12</sup>   | <b>SPB1</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting Height <sup>11,13</sup><br><b>SPB2</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting Height <sup>11,13</sup><br><b>SPB4</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting Height <sup>11,13,26,27</sup><br><b>WPS2XX</b> =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>11,14,15,16</sup><br><b>WPS4XX</b> =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>11,14,15,16</sup><br><b>WLS2XX</b> =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>11,14,15,16</sup><br><b>WLS4XX</b> =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>11,14,15,16</sup> |   | <b>PRVSA-XX</b> =Standard Arm Mounting Kit <sup>21</sup><br><b>PRVMA-XX</b> =Mast Arm Mounting Kit <sup>21</sup><br><b>PRVWM-XX</b> =Wall Mount Kit <sup>21</sup><br><b>PRV-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>21</sup><br><b>PRV-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>21</sup><br><b>PRV-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>21</sup><br><b>PRVXLSA-XX</b> =Standard Arm Mounting Kit <sup>27</sup><br><b>PRVXLMA-XX</b> =Mast Arm Mounting Kit <sup>27</sup><br><b>PRVXLWM-XX</b> =Wall Mount Kit <sup>27</sup><br><b>PRV-XL-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>27</sup><br><b>PRV-XL-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>27</sup><br><b>PRV-XL-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>27</sup><br><b>PRV-M-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>26</sup><br><b>PRV-M-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>26</sup><br><b>PRV-M-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>26</sup><br><b>MA1010-XX</b> =Single Tenon Adapter for 3-1/2" O.D. Tenon |  |  | <b>MA1011-XX</b> =2@180° Tenon Adapter for 3-1/2" O.D. Tenon<br><b>MA1017-XX</b> =Single Tenon Adapter for 2-3/8" O.D. Tenon<br><b>MA1018-XX</b> =2@180° Tenon Adapter for 2-3/8" O.D. Tenon<br><b>SRA238</b> =Tenon Adapter from 3" to 2-3/8" O.D. Tenon<br><b>PRV/COB-FDV</b> =Full Drop Visor <sup>22</sup><br><b>PRVXI/COB-FDV</b> =Full Drop Visor <sup>17</sup><br><b>HS/VERD</b> =House Side Shield Kit <sup>7,23</sup><br><b>VGS-F7B</b> =Vertical Glare Shield Kit, Front/Back <sup>23</sup><br><b>VGS-SIDE</b> =Vertical Glare Shield Kit, Side <sup>23</sup><br><b>OA/RA1013</b> =Photocontrol Shorting Cap<br><b>OA/RA1014</b> =NEMA Photocontrol - 120V<br><b>OA/RA1016</b> =NEMA Photocontrol - Multi-Tap 105-285V<br><b>OA/RA1201</b> =NEMA Photocontrol - 347V<br><b>OA/RA1027</b> =NEMA Photocontrol - 480V<br><b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>24</sup><br><b>WOLC-7P-10A</b> =WaveLinX Outdoor Control Module (7-PIN) <sup>25</sup> |  |  |  |
| <b>NOTES:</b><br>1. DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details.<br>2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions I8500002EN and pole white paper WP513001EN for additional support information.<br>3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://www.designlights.org">DOMESTIC PREFERENCES</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.<br>4. Standard 4000K CCT and 70CRI.<br>5. 480V not to be used with ungrounded or impedance grounded systems.<br>6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.signify.com/duravolt">www.signify.com/duravolt</a> for more information.<br>7. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package.<br>8. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package.<br>9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.<br>10. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.<br>11. Controls system is not available in combination with a photocontrol receptacle (PR & PER7) or another controls system (MS or SPB). Option not available with DuraVolt (DV) voltage option.<br>12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.<br>13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.<br>14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).<br>15. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. |   |   |   |  |  |  |  | 16. Replace XX with sensor color (WH, BZ, or BK).<br>17. Only available in PRV-XL configurations C75, C100, C125, C150, or C175.<br>18. Not available with 347V, 480V, DV, or HA options.<br>19. Replace XX with paint color.<br>20. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.<br>21. Not for use with PRV-XL or PRV-M configurations.<br>22. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P.<br>23. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, 6 or 9).<br>24. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.<br>25. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR & PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Operates on 120-347V input voltages.<br>26. Only for use with PRV-M configurations.<br>27. Only for use with PRV-XL configurations.<br>28. Fixed for PRV-M.<br>29. Cannot be used with PR7 or other motion response control options<br>30. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the <a href="http://www.designlights.org">DOMESTIC PREFERENCES</a> website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements. |  |

## Stock Ordering Information

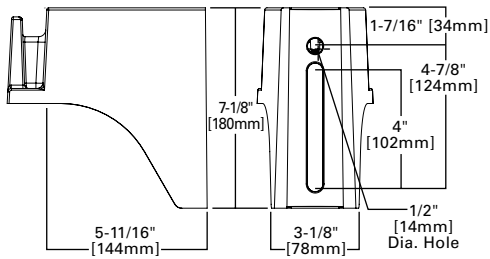
| Product Family <sup>1</sup>  | Light Engine  | Voltage   | Distribution                              |
|--|---|---|---|
| <b>PRVS</b> =Prevail   | <b>C15</b> =(1 LED) 7,100 Nominal Lumens<br><b>C25</b> =(2 LEDs) 13,100 Nominal Lumens<br><b>C40</b> =(2 LEDs) 17,100 Nominal Lumens<br><b>C60</b> =(2 LEDs) 20,000 Nominal Lumens  | <b>UNV</b> =Universal (120-277V)<br><b>347</b> =347V <sup>2</sup> | <b>T3</b> =Type III<br><b>T4</b> =Type IV |
| <b>PRVS-XL</b> =Prevail XL   | <b>C75</b> =(4 LED) 26,100 Nominal Lumens<br><b>C100</b> =(4 LED) 31,000 Nominal Lumens<br><b>C125</b> =(4 LED) 36,000 Nominal Lumens<br><b>C150</b> =(6 LED) 41,100 Nominal Lumens<br><b>C175</b> =(6 LED) 48,600 Nominal Lumens |   |   |
| <b>NOTES:</b><br>1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm.<br>2. Only available in PRVS configurations C15, C25, C40 or C60. |   |   |   |

## Mounting Details

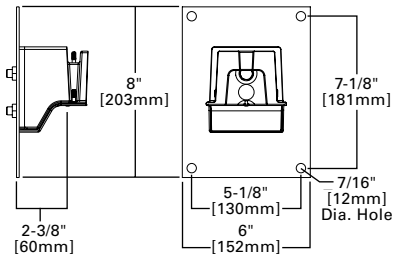
**SA=QM Pole Mount Arm (PRV & PRV-P)**



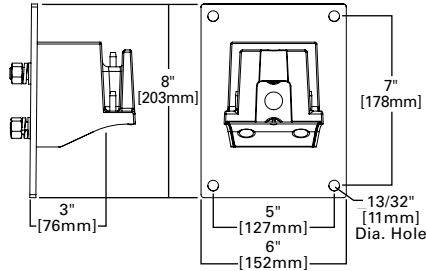
**SA=QM Pole Mount Arm (PRV-XL)**



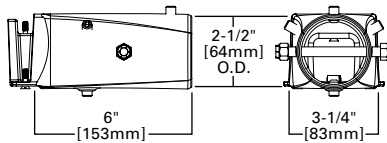
**WM=QM Wall Mount Arm (PRV & PRV-P)**



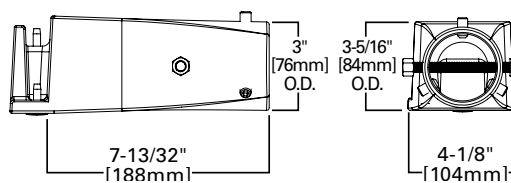
**WM=QM Wall Mount Arm (PRV-XL)**



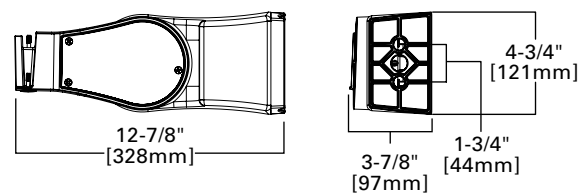
**MA=QM Mast Arm (PRV & PRV-P)**



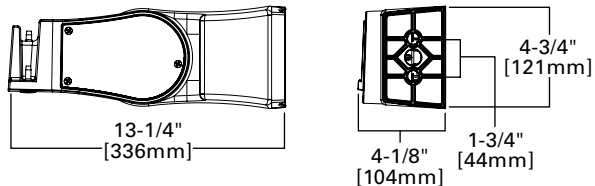
**MA=QM Mast Arm (PRV-XL)**



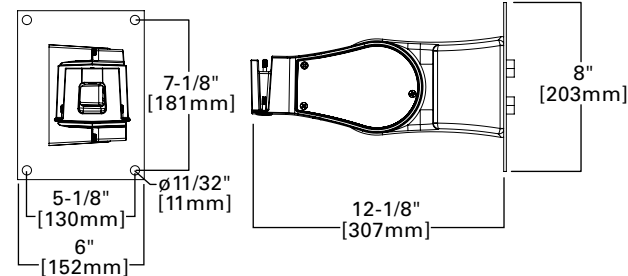
**ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)**



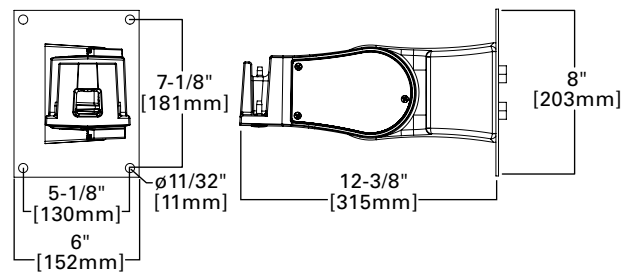
**ADJA=Adjustable Arm Pole Mount (PRV-XL)**



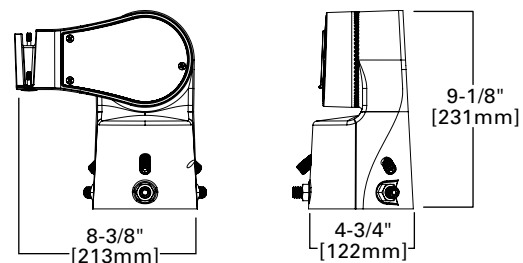
**ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)**



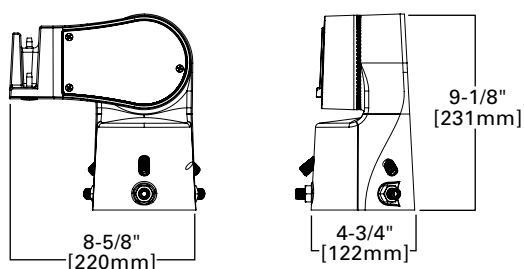
**ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)**



**ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)**

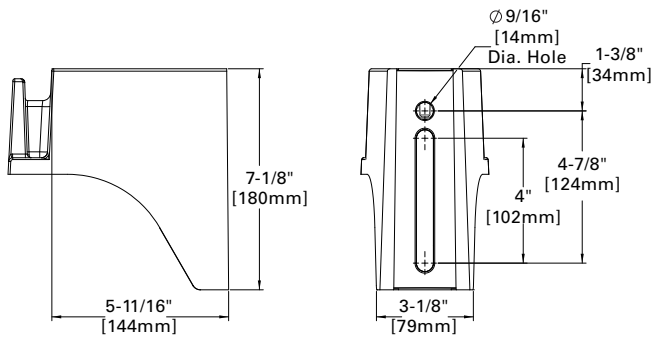


**ADJS=Adjustable Slipfitter 3 (PRV-XL)**

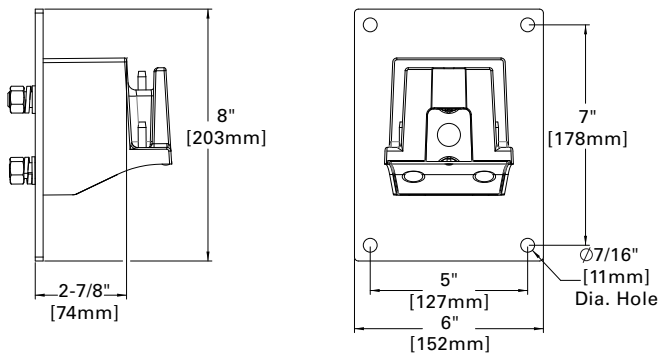


## Mounting Details

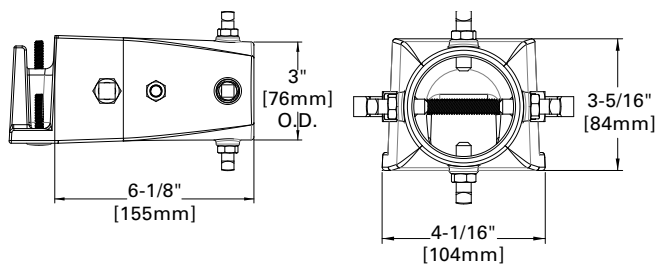
### SA=QM Pole Mount Arm (PRV-M)



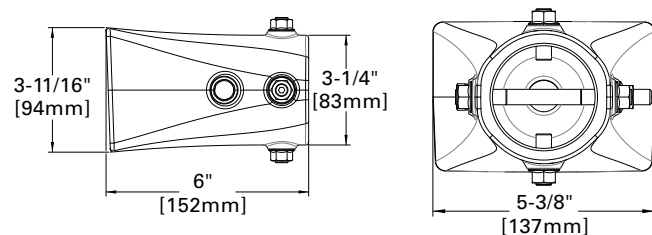
### WM=QM Wall Mount Arm (PRV-M)



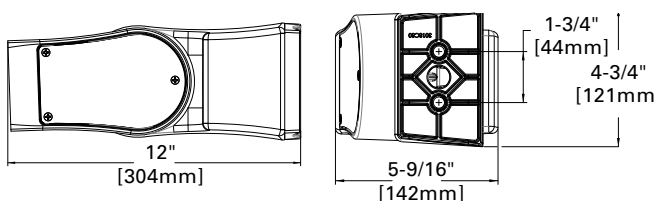
### MA=QM Mast Arm (PRV-M)



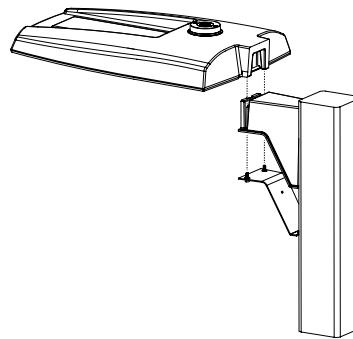
### FMA=Fixed Mast Arm (PRV-M)



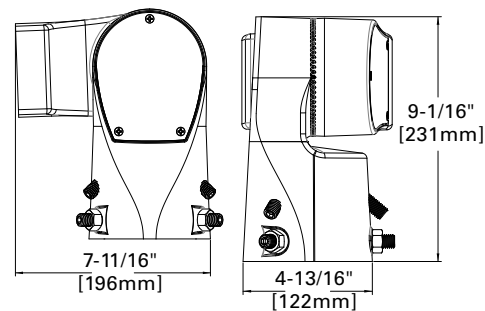
### DM=Direct Pole Mount Arm (PRV-M)



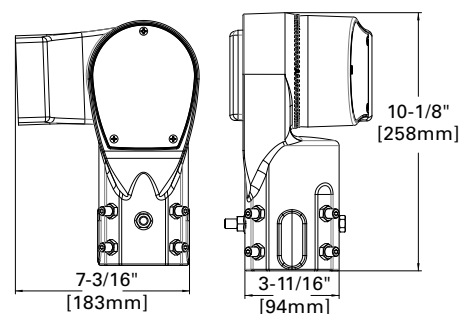
### Versatile Mount System



### ADJS=Adjustable Slipfitter (PRV-M)



### SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)





## Mounting Details

### Mounting Configurations and EPAs

| Housing Size   | Tilt Angle (Degrees)  | Arm Mount Single | Arm Mount 2 @ 180° | Arm Mount 2 @ 90° | Arm Mount 3 @ 90° | Arm Mount 4 @ 90° |
|----------------|-----------------------|------------------|--------------------|-------------------|-------------------|-------------------|
| Prevail Petite | 0°                    | 0.54             | 1.08               | 0.84              | 1.38              | 1.38              |
|                | 60°                   | 1.68             | 1.85               | 2.42              | 3.15              | 3.30              |
| Prevail        | 0°                    | 0.92             | 1.35               | 1.42              | 1.63              | 1.63              |
|                | 60°                   | 2.20             | 2.40               | 3.05              | 3.88              | 4.07              |
|                | 60° + Full Drop Visor | 2.20             | 2.40               | 3.25              | 4.28              | 4.47              |
| Prevail XL     | 0°                    | 1.12             | 2.25               | 2.13              | 2.52              | 2.52              |
|                | 60°                   | 3.99             | 4.30               | 5.26              | 6.51              | 6.79              |
|                | 60° + Full Drop Visor | 3.99             | 4.30               | 5.59              | 7.17              | 7.49              |
| Prevail Maxx   | 0°                    | 1.28             | 2.56               | 1.7               | 2.69              | 2.69              |
|                | 60°                   | 5.09             | 5.52               | 6.34              | 7.49              | 7.81              |

**NOTE:** For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

## Optical Configurations

PRV-P-C10/C15/C20/C25  
(4,900/6,900/9,800/11,800  
Nominal Lumens)



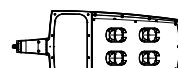
PRV-C15  
(7,100 Nominal Lumens)



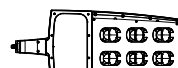
PRV-C25/C40/C60  
(13,100/17,100/20,000  
Nominal Lumens)



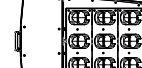
PRV-XL-C75/C100/C125  
(26,100/31,000/36,300 Nominal Lumens)



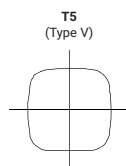
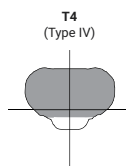
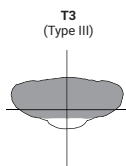
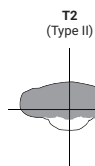
PRV-XL-C150/C175  
(41,100/48,600 Nominal Lumens)



PRV-M-PA6X  
(50,000/60,000/70,000/80,000 Nominal Lumens)



### Optical Distributions



= Distribution with House Side Shield (HSS)  
 = Optical Distribution

## Product Specifications

### Optics

- Precision molded polycarbonate optics

### Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

### Physical Characteristics

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)
- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only

### Controls

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

### Compliance

- DarkSky approved for 3000K CCT and warmer, with mounting options less than 10° of tilt.
- DLC and DLC Premium listed – visit [designlights.org](http://designlights.org) to confirm listed variations
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated
- BAA domestic preference option meets BAA requirements. See [DOMESTIC.PREFERENCES](http://DOMESTIC.PREFERENCES) website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams. Please refer to the [DOMESTIC.PREFERENCES](http://DOMESTIC.PREFERENCES) website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

### Typical Applications

- Parking lots
- Walkways
- Roadways
- Building Areas

### Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

### Warranty

- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

## Energy and Performance Data

## Power and Lumens



View PRV-P IES files



View PRV IES files



View PRV-XL IES files

| Product Family            |                           | Prevail Petite |          |          |          | Prevail  |          |          |          | Prevail XL |          |          |          |          | Prevail Maxx |          |          |          |
|---------------------------|---------------------------|----------------|----------|----------|----------|----------|----------|----------|----------|------------|----------|----------|----------|----------|--------------|----------|----------|----------|
| Light Engine              |                           | C10            | C15      | C20      | C25      | C15      | C25      | C40      | C60      | C75        | C100     | C125     | C150     | C175     | C200         | C225     | C250     | C275     |
| Power (Watts)             |                           | 35             | 49       | 73       | 94       | 52       | 96       | 131      | 153      | 176        | 217      | 264      | 285      | 346      | 346          | 418      | 487      | 588      |
| Input Current @ 120V (A)  |                           | 0.29           | 0.41     | 0.61     | 0.79     | 0.43     | 0.80     | 1.09     | 1.32     | 1.50       | 1.84     | 2.21     | 2.38     | 2.92     | 2.89         | 3.49     | 4.06     | 4.90     |
| Input Current @ 277V (A)  |                           | 0.13           | 0.18     | 0.27     | 0.35     | 0.19     | 0.35     | 0.48     | 0.57     | 0.66       | 0.82     | 0.97     | 1.04     | 1.25     | 1.26         | 1.51     | 1.72     | 2.06     |
| Input Current @ 347V (A)  |                           | 0.11           | 0.16     | 0.23     | 0.29     | 0.17     | 0.30     | 0.41     | 0.48     | 0.54       | 0.66     | 0.79     | 0.84     | 1.02     | 1.00         | 1.21     | 1.40     | 1.70     |
| Input Current @ 480V (A)  |                           | 0.08           | 0.12     | 0.17     | 0.22     | 0.12     | 0.22     | 0.30     | 0.35     | 0.40       | 0.48     | 0.57     | 0.62     | 0.74     | 0.73         | 0.88     | 1.00     | 1.21     |
| Distribution <sup>1</sup> |                           |                |          |          |          |          |          |          |          |            |          |          |          |          |              |          |          |          |
| Type II                   | 4000K Lumens              | 4,775          | 6,717    | 9,542    | 11,521   | 7,123    | 13,205   | 17,172   | 20,083   | 26,263     | 31,231   | 36,503   | 41,349   | 48,876   | 50,349       | 59,444   | 68,447   | 79,322   |
|                           | BUG Rating                | B1-U0-G1       | B1-U0-G1 | B2-U0-G2 | B2-U0-G2 | B2-U0-G2 | B2-U0-G2 | B3-U0-G3 | B3-U0-G3 | B3-U0-G3   | B3-U0-G4 | B4-U0-G4 | B4-U0-G4 | B4-U0-G5 | B4-U0-G5     | B4-U0-G5 | B4-U0-G5 | B5-U0-G5 |
|                           | Lumens per Watt           | 138            | 137      | 131      | 122      | 137      | 138      | 131      | 131      | 149        | 144      | 138      | 145      | 141      | 146          | 142      | 141      | 135      |
|                           | 3000K Lumens <sup>1</sup> | 4,869          | 6,595    | 9,369    | 11,312   | 6,994    | 12,965   | 16,860   | 19,718   | 25,786     | 30,664   | 35,840   | 40,598   | 47,989   | 49,437       | 58,368   | 67,208   | 77,886   |
| Type III                  | 4000K Lumens              | 4,782          | 6,727    | 9,556    | 11,538   | 7,111    | 13,183   | 17,144   | 20,050   | 26,120     | 31,061   | 36,304   | 41,124   | 48,610   | 50,162       | 59,223   | 68,193   | 79,027   |
|                           | BUG Rating                | B1-U0-G2       | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B1-U0-G2 | B2-U0-G3 | B3-U0-G4 | B3-U0-G4 | B3-U0-G5   | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5 | B4-U0-G5     | B4-U0-G5 | B5-U0-G5 | B5-U0-G5 |
|                           | Lumens per Watt           | 138            | 137      | 131      | 123      | 137      | 137      | 131      | 131      | 148        | 143      | 138      | 144      | 140      | 145          | 142      | 140      | 135      |
|                           | 3000K Lumens <sup>1</sup> | 4,695          | 6,605    | 9,383    | 11,329   | 6,982    | 12,944   | 16,832   | 19,686   | 25,646     | 30,497   | 35,645   | 40,377   | 47,727   | 49,254       | 58,151   | 66,958   | 77,596   |
| Type IV                   | 4000K Lumens              | 4,880          | 6,865    | 9,752    | 11,774   | 7,088    | 13,140   | 17,087   | 19,984   | 26,098     | 31,035   | 36,274   | 41,089   | 48,569   | 50,575       | 59,711   | 68,754   | 79,678   |
|                           | BUG Rating                | B1-U0-G2       | B1-U0-G2 | B2-U0-G3 | B2-U0-G3 | B1-U0-G3 | B2-U0-G4 | B2-U0-G4 | B3-U0-G5 | B3-U0-G5   | B3-U0-G5 | B3-U0-G5 | B3-U0-G5 | B4-U0-G5 | B4-U0-G5     | B4-U0-G5 | B4-U0-G5 | B5-U0-G5 |
|                           | Lumens per Watt           | 141            | 140      | 134      | 125      | 136      | 137      | 130      | 131      | 148        | 143      | 137      | 144      | 140      | 146          | 143      | 141      | 136      |
|                           | 3000K Lumens <sup>1</sup> | 4,792          | 6,740    | 9,575    | 11,561   | 6,959    | 12,901   | 16,777   | 19,621   | 25,624     | 30,471   | 35,615   | 40,343   | 47,687   | 49,659       | 58,630   | 67,510   | 78,235   |
| Type V                    | 4000K Lumens              | 5,067          | 7,128    | 10,126   | 12,226   | 7,576    | 14,045   | 18,264   | 21,360   | 28,129     | 33,450   | 39,097   | 44,287   | 52,349   | 53,531       | 63,201   | 72,773   | 84,335   |
|                           | BUG Rating                | B3-U0-G2       | B3-U0-G2 | B4-U0-G3 | B4-U0-G3 | B3-U0-G3 | B4-U0-G3 | B4-U0-G4 | B5-U0-G4 | B5-U0-G5   | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 | B5-U0-G5     | B5-U0-G5 | B5-U0-G5 | B5-U0-G5 |
|                           | Lumens per Watt           | 146            | 145      | 139      | 130      | 146      | 146      | 139      | 140      | 160        | 154      | 148      | 155      | 151      | 155          | 151      | 150      | 144      |
|                           | 3000K Lumens <sup>1</sup> | 4,975          | 6,999    | 9,942    | 12,004   | 7,438    | 13,790   | 17,932   | 20,972   | 27,618     | 32,843   | 38,387   | 43,483   | 51,398   | 52,562       | 62,057   | 71,455   | 82,808   |

## NOTES:

1. For 3000K, 5000K or HSS data, refer to published IES files.

*B.*



Bannon Lakes Court Lighting  
FL-325-T-4-BRN-H2

**Direct Burial**

# Composite Light Poles

**Florida Series 140 mph**

## 300 Series

| Model No. | Nominal Mtg. Ht. (Ft) | Burial Depth (Ft) | Shaft Length (Ft) | Nominal Pole Weight | Tip O.D. (In) | Nominal Ground Level O.D. (In) | Maximum Allowable Weight | Maximum EPA* 140 MPH |
|-----------|-----------------------|-------------------|-------------------|---------------------|---------------|--------------------------------|--------------------------|----------------------|
| FL-D320   | 20                    | 5                 | 25                | 66                  | 4.4           | 6.5                            | 50                       | 3                    |
| FL-D325   | 25                    | 6                 | 31                | 88                  | 4.5           | 6.75                           | 70                       | 3                    |
| FL-D330   | 30                    | 6                 | 36                | 131                 | 5.5           | 8.5                            | 90                       | 3                    |

## 500 Series

| Model No. | Nominal Mtg. Ht. (Ft) | Burial Depth (Ft) | Shaft Length (Ft) | Nominal Pole Weight | Tip O.D. (In) | Nominal Ground Level O.D. (In) | Maximum Allowable Weight | Maximum EPA* 140 MPH |
|-----------|-----------------------|-------------------|-------------------|---------------------|---------------|--------------------------------|--------------------------|----------------------|
| FL-D520   | 20                    | 5                 | 25                | 87                  | 5.3           | 8.5                            | 60                       | 5                    |
| FL-D525   | 25                    | 6                 | 31                | 112                 | 5.5           | 8.5                            | 80                       | 5                    |
| FL-D530   | 30                    | 6                 | 36                | 155                 | 5.5           | 8.5                            | 100                      | 5                    |

## 700 Series

| Model No. | Nominal Mtg. Ht. (Ft) | Burial Depth (Ft) | Shaft Length (Ft) | Nominal Pole Weight | Tip O.D. (In) | Nominal Ground Level O.D. (In) | Maximum Allowable Weight | Maximum EPA* 140 MPH |
|-----------|-----------------------|-------------------|-------------------|---------------------|---------------|--------------------------------|--------------------------|----------------------|
| FL-D720   | 20                    | 5                 | 25                | 89                  | 5.5           | 8.5                            | 70                       | 7                    |
| FL-D725   | 25                    | 6                 | 31                | 128                 | 5.5           | 8.5                            | 90                       | 7                    |
| FL-D730   | 30                    | 6                 | 36                | 180                 | 5.5           | 8.5                            | 110                      | 7                    |

### Notes:

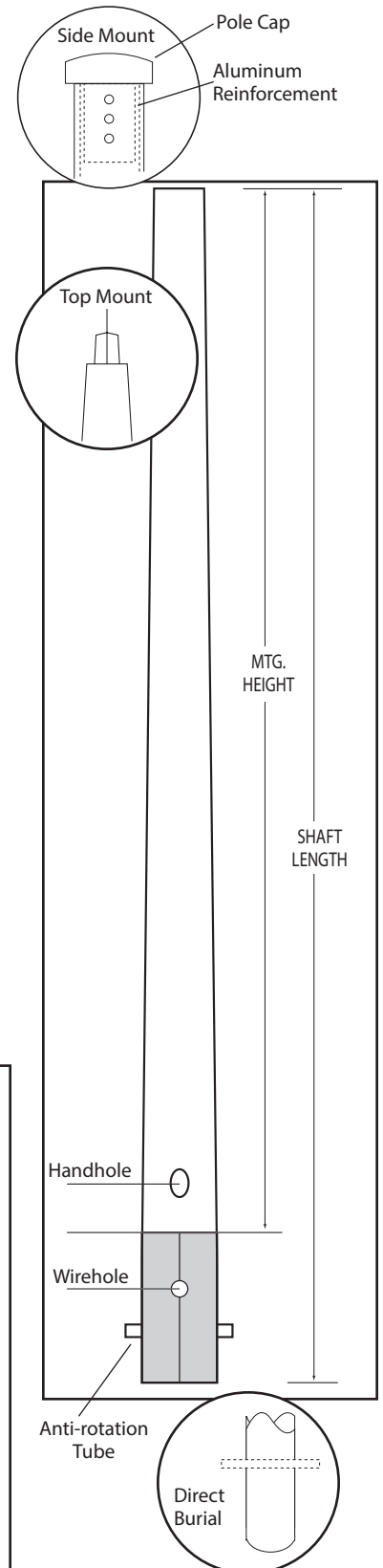
\* EPA recommendations are calculated per AASHTO standards and include a 30% gust factor.

### Standard features

- 2 3/8" tenon for top mounted luminaire
- non-conductive pole cap for side mounted luminaire
- 2 1/2" x 5" handhole with non-conductive door to match light pole
- 1 3/8" nylon grommeted conductor hole below ground
- anti-rotational tube
- standard colors include dark bronze, gray, black and white

### Optional features

- 3" tenon for top mounted luminaire
- 4" tenon for top mounted luminaire
- custom colors
- contact PLP for additional options



## Specifications:

Provide a Fiber-Reinforced Composite (FRC) Light Pole Model # \_\_\_\_\_ as manufactured by PLP Composite Technologies, Inc., Fitzwilliam, NH 03447. The light pole shall be constructed of polyester resin and fiberglass woven roving with more than 75% of the reinforcing fiberglass in the axial vertical plane. The pole shall be engineered and manufactured to have an EPA rating of \_\_\_\_\_ in winds of 140 MPH with a gust factor of 1.3.

The pole shall be direct burial style with a mounting height of \_\_\_\_\_', and an overall length of \_\_\_\_\_' allowing for \_\_\_\_\_' to be below grade. The tip diameter will be \_\_\_\_\_" and the base diameter \_\_\_\_\_". An anti-rotational device shall be located above the butt of the pole, consisting of a tube extending out from each side of the pole. The pole shall be equipped with a 1 3/8" nylon grommated hole two feet below grade.

It shall be round with a classical ENTASIS taper, with a smooth surface satin brush acrylic finish. The color shall be \_\_\_\_\_.

The pole shall have a 2 1/2" x 5" handhole with a nonconductive door, including vandal resistant screws.

### SELECT MOUNT TYPE:

#### Top Mount Type

The pole shall be a top mount with:

Tenon options:

2 3/8" O.D. x 4 5/8" long

3" O.D. x 4 5/8" long

4" O.D. x 6" long

other

#### Side Mount Type

The pole shall be reinforced with an aluminum sleeve to support bolting. The manufacturer will/will not be required to drill according to luminaire manufacturer's provided template. The pole shall be equipped with a nonconductive pole cap.

## Model Number Order Code System

| Select Model No. | Mounting Type | Fixture Mounting                   | Color                      | Handhole                            |
|------------------|---------------|------------------------------------|----------------------------|-------------------------------------|
| FL-D325          | Top Mount T   | Tenon                              | Dark Bronze BRN            | 2 1/2" x 5" (300 Series) H2         |
|                  | Side Mount S  | 2 3/8" OD x 4 5/8" Long 4          | Black BLK                  | 4" x 6" (500-700 Series) H3         |
|                  |               | 3" OD x 4 5/8" Long 5              | Gray GRY                   | 4" x 10" (500-700 Series) H4        |
|                  |               | 4" OD x 6" Long 6                  | White WHT                  | Other (custom - consult/factory) H9 |
|                  |               | Other (custom-consult w/factory) 7 | Other OTH                  |                                     |
|                  |               | Side Mount                         | (custom - consult/factory) |                                     |
|                  |               | Not drilled 8                      |                            |                                     |
|                  |               | Pre drilled 9                      |                            |                                     |

|         |   |   |     |    |
|---------|---|---|-----|----|
| FL-D325 | T | 4 | BRN | H2 |
|---------|---|---|-----|----|

**PLP Composite Technologies, Inc.**

57 Creamery Road • PO Box 429 • Fitzwilliam, NH 03447 • Tel: 603-585-9100 • Fax: 603-585-3470 • [www.plpcomp.com](http://www.plpcomp.com)

*C.*

Smith Electrical Inc.  
PO Box 9023  
St Augustine, FL 32085

# Estimate

| Estimate # | Date      |
|------------|-----------|
| 435 Bannon | 1/28/2026 |

| Name / Address  |
|---|
| Bannon Lakes CDD Board and Staff<br>435 Bannon Lakes Blvd<br>St Augustine, FL 32095<br>jjohnson@rmsnf.com |

| Item   | Description   | Qty                      | Rate      | Total     |
|--|---|--------------------------|-----------|-----------|
| Quote  | Supply and install (8) 25' fiberglass poles, (9) LED Aerial light fixtures, mounting hardware, PVC conduit, wiring, breaker and time clock. |                          | 41,879.59 | 41,879.59 |
| Permits  | Included  |                          |           |           |
| Extras   | IF needed shield attachment to block stray lighting \$200 per fixture   |                          |           |           |
| All material is guaranteed to be as specified. All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard practices. Any variation or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owners to carry fire, tornado and other necessary insurance. |   | <b>Total</b> \$41,879.59 |           |           |

Signature \_\_\_\_\_

| Phone #    | Fax #        | E-mail                    | Web Site                |
|------------|--------------|---------------------------|-------------------------|
| 9048290899 | 904-829-0259 | smithelectric08@gmail.com | staugustineelectric.com |

## *SIXTH ORDER OF BUSINESS*





**The Lake Doctors, Inc.**  
Aquatic Management Services

The Lake Doctors, Inc.  
Jacksonville Branch  
11621 Columbia Park Drive West  
Jacksonville, FL 32258  
904-262-5500  
[jacksonville@lakedoctors.com](mailto:jacksonville@lakedoctors.com)

## Water Management Exhibit

**MAS/723475R**

This Agreement, made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ is between The Lake Doctors, Inc., a Florida Corporation, hereinafter called "THE LAKE DOCTORS" and

**PROPERTY NAME (Community/Business/Individual)** Bannon Lakes Community Development District

**MANAGEMENT COMPANY** Riverside Management Service of North Florida

**INVOICING ADDRESS** 475 West Town Place, Suite 114

**CITY** St. Augustine **STATE** Florida **ZIP** 32092 **PHONE ( )** 904-759-8061

**EMAIL ADDRESS** jjohnson@rmsnf.com **EMAIL INVOICE: YES OR NO**

**THIRD PARTY COMPLIANCE/REGISTRATION: YES OR NO** **THIRD PARTY INVOICING PORTAL: YES OR NO**

*\*\*If a Third Party Compliance/Registration or an Invoice Portal is required; it is the customer's responsibility to provide the information.*

Hereinafter called "CUSTOMER"

**REQUESTED START DATE:** \_\_\_\_\_  
**PURCHASE ORDER #:** \_\_\_\_\_

The parties hereto agree to the following:

- A. THE LAKE DOCTORS agrees to manage certain lakes and/or waterways for a period of twelve (12) months from the date of execution of this Agreement in accordance with the terms and conditions of this Agreement in the following location(s):

**Six (6) lakes associated with Bannon Lakes Community Development District, St. Johns Florida.**

Includes a minimum of twelve (12) inspections and/or treatments, as necessary, for control and prevention of noxious aquatic weeds/algae. The **Term of this agreement shall be October 1, 2025 through September 30, 2026**. Service will continue month-to-month until receipt of an executed or amended agreement or notice of cancellation.

- B. CUSTOMER agrees to pay THE LAKE DOCTORS, its agents or assigns, the following sum for specified aquatic management services:

|   |                          |
|---|--------------------------|
| 1. Underwater and Floating Vegetation Control Program | \$ 820.00 Monthly        |
| 2. Shoreline Grass and Brush Control Program          | \$ INCLUDED              |
| 3. Additional Treatments, if Required                 | \$ INCLUDED              |
| 4. Free Callback Service                              | \$ INCLUDED              |
| 5. Monthly Service Reporting                          | \$ INCLUDED              |
| 6. Water quality testing and analysis, as required.   | \$ INCLUDED              |
| Total of Services Accepted                            | \$ <b>820.00 Monthly</b> |

**\$0.00** of the above sum-total shall be due and payable upon execution of this Agreement, the balance shall be payable in monthly installments of **\$820.00 monthly**, including sales use taxes, fees or charges that are imposed by any governmental body relating to the service provided under this Agreement.

- C. THE LAKE DOCTORS uses products which, in its sole discretion, will provide effective and safe results.
- D. THE LAKE DOCTORS agrees to commence treatment within **fifteen (15)** business days, weather permitting, from the date of receipt of this executed Agreement plus initial deposit and/or required government permits.
- E. The offer contained herein is withdrawn and this Agreement shall have no further force and effect unless executed and returned by CUSTOMER to THE LAKE DOCTORS on or before **NA**.

THE LAKE DOCTORS, INC.

CUSTOMER

Mark Seymour, Sales Manager

Signed \_\_\_\_\_ Dated \_\_\_\_\_  
Name \_\_\_\_\_

## *SEVENTH ORDER OF BUSINESS*

*D.*



## **Amenity & Operations Manager's Reports**

**Date of report: 2/17/2026**

**Submitted by: Emily Wright**

### **Amenity Manager Updates**

#### **CLUBS/PROGRAMS ACTIVE AT BANNON LAKES**

- Monday: Yoga 10:00-11:00 am  
Mahjong 1:00pm-5:00pm
- Tuesday: Book Club 7:00pm-10:00pm (2nd Tuesday Monthly)
- Wednesday: Women's Card Club 1:00pm-5:00pm  
Men's Card Club 5:30-9:00 pm  
Zumba 6:00pm-7:00pm
- Thursday: Games Club 1:00pm-5:00pm
- Friday: Yoga 10:00-11:00 am  
Bunco 7:00pm-10:00pm (2<sup>nd</sup> Friday Monthly)
- Saturday: Zumba 9:00am-10:00pm

#### **Upcoming & Completed Events**

- February 13<sup>th</sup> – Valentine's Craft Day 1:00pm-4:00pm
- March 14<sup>th</sup> – Murder Mystery 4:00pm-6:00pm
- March 21<sup>st</sup> – Spring/Easter Event 10:00am-1:00pm

## **Operations Manager Updates**

### **Completed Projects**

◊ Benches and shade structure in dog park are installed and completed; the playground shade structure columns have been installed and now we are waiting for the shade to be made and then installed

◊ Mulch has been installed throughout the community

◊ Installed new plumbing for urinals in men's bathroom

◊ New signage has been installed in pool area

◊ Continued Treatment of all CDD Ponds (algae concerns)

◊ Onsite staff continues to work to deter Ducks and Geese from the Amenity Center

## *TENTH ORDER OF BUSINESS*

*A.*

***Bannon Lakes***  
***Community Development District***

***Unaudited Financial Reporting***  
***January 31, 2026***





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**Bannon Lakes**  
**Community Development District**  
**Combined Balance Sheet**  
**January 31, 2026**

|   | General<br>Fund   | Debt Service<br>Fund | Capital Project<br>Fund | Capital Reserve<br>Fund | Totals<br>Governmental Funds |
|---|-------------------|----------------------|-------------------------|-------------------------|------------------------------|
| <b>Assets:</b>                              |                   |                      |                         |                         |                              |
| <b>Cash:</b>                                |                   |                      |                         |                         |                              |
| Operating Account - Hancock                 | \$ 834,849        | \$ -                 | \$ -                    | \$ 6,482                | \$ 841,331                   |
| Due from General Fund                       | -                 | 3,645                | -                       | -                       | 3,645                        |
| Due from Capital Fund                       | -                 | -                    | -                       | -                       | -                            |
| Due from Developer                          | -                 | -                    | -                       | -                       | -                            |
| Due from Capital Reserve                    | 23,021            | -                    | -                       | -                       | 23,021                       |
| Due from Governmental Units                 | -                 | -                    | -                       | -                       | -                            |
| <b>Investments:</b>                         |                   |                      |                         |                         |                              |
| State Board of Administration (SBA)         | 79,323            | -                    | -                       | 914                     | 80,237                       |
| <b>Series 2016</b>                          |                   |                      |                         |                         |                              |
| Reserve                                     | -                 | 370,375              | -                       | -                       | 370,375                      |
| Interest                                    | -                 | -                    | -                       | -                       | -                            |
| Sinking                                     | -                 | -                    | -                       | -                       | -                            |
| Revenue                                     | -                 | 786,031              | -                       | -                       | 786,031                      |
| Prepayment                                  | -                 | -                    | -                       | -                       | -                            |
| Construction                                | -                 | -                    | -                       | -                       | -                            |
| <b>Series 2021</b>                          |                   |                      |                         |                         |                              |
| Reserve                                     | -                 | 206,950              | -                       | -                       | 206,950                      |
| Interest                                    | -                 | 88                   | -                       | -                       | 88                           |
| Prepayment                                  | -                 | 6                    | -                       | -                       | 6                            |
| Revenue                                     | -                 | 411,513              | -                       | -                       | 411,513                      |
| Sinking                                     | -                 | 550                  | -                       | -                       | 550                          |
| Construction                                | -                 | -                    | 32,017                  | -                       | 32,017                       |
| <b>Series 2022</b>                          |                   |                      |                         |                         |                              |
| Reserve                                     | -                 | 259,400              | -                       | -                       | 259,400                      |
| Revenue                                     | -                 | 120                  | -                       | -                       | 120                          |
| Interest                                    | -                 | 475,635              | -                       | -                       | 475,635                      |
| Prepayment                                  | -                 | 4                    | -                       | -                       | 4                            |
| Sinking                                     | -                 | 602                  | -                       | -                       | 602                          |
| Construction                                | -                 | -                    | 909,704                 | -                       | 909,704                      |
| Prepaid Expenses                            | 5,734             | -                    | -                       | -                       | 5,734                        |
| Deposits                                    | 50                | -                    | -                       | -                       | 50                           |
| <b>Total Assets</b>                         | <b>\$ 942,978</b> | <b>\$ 2,514,919</b>  | <b>\$ 941,721</b>       | <b>\$ 7,396</b>         | <b>\$ 4,407,014</b>          |
| <b>Liabilities:</b>                         |                   |                      |                         |                         |                              |
| Accounts Payable                            | \$ 9,533          | \$ -                 | \$ -                    | \$ -                    | \$ 9,533                     |
| Accrued Expenses                            | -                 | -                    | -                       | -                       | -                            |
| FICA Payable                                | -                 | -                    | -                       | -                       | -                            |
| Deferred Revenue                            | -                 | -                    | -                       | -                       | -                            |
| Due to General Fund                         | -                 | -                    | -                       | 23,021                  | 23,021                       |
| Due to Capital Reserve                      | -                 | -                    | -                       | -                       | -                            |
| Due to Other                                | -                 | -                    | -                       | 6,000                   | 6,000                        |
| Due to Debt Service - Series 2016           | 1,609             | -                    | -                       | -                       | 1,609                        |
| Due to Debt Service - Series 2021           | 907               | -                    | -                       | -                       | 907                          |
| Due to Debt Service - Series 2022           | 1,129             | -                    | -                       | -                       | 1,129                        |
| <b>Total Liabilities</b>                    | <b>\$ 13,178</b>  | <b>\$ -</b>          | <b>\$ -</b>             | <b>\$ 29,021</b>        | <b>\$ 42,199</b>             |
| <b>Fund Balance:</b>                        |                   |                      |                         |                         |                              |
| Nonspendable:                               |                   |                      |                         |                         |                              |
| Prepaid Items                               | \$ 5,734          | \$ -                 | -                       | \$ -                    | \$ 5,734                     |
| Deposits                                    | 50                | -                    | -                       | -                       | 50                           |
| Restricted for:                             |                   |                      |                         |                         |                              |
| Debt Service                                | -                 | 2,514,919            | -                       | -                       | 2,514,919                    |
| Capital Project                             | -                 | -                    | 941,721                 | -                       | 941,721                      |
| Assigned for:                               |                   |                      |                         |                         |                              |
| Capital Reserve Fund                        | -                 | -                    | -                       | (21,625)                | (21,625)                     |
| Capital Reserves                            | -                 | -                    | -                       | -                       | -                            |
| Unassigned                                  | 924,015           | -                    | -                       | -                       | 924,015                      |
| <b>Total Fund Balances</b>                  | <b>\$ 929,800</b> | <b>\$ 2,514,919</b>  | <b>\$ 941,721</b>       | <b>\$ (21,625)</b>      | <b>\$ 4,364,816</b>          |
| <b>Total Liabilities &amp; Fund Balance</b> | <b>\$ 942,978</b> | <b>\$ 2,514,919</b>  | <b>\$ 941,721</b>       | <b>\$ 7,396</b>         | <b>\$ 4,407,014</b>          |

**Bannon Lakes**  
**Community Development District**  
**General Fund**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted<br>Budget   | Prorated Budget<br>Thru 01/31/26 | Actual<br>Thru 01/31/26 | Variance          |
|--|---------------------|----------------------------------|-------------------------|-------------------|
| <b><u>Revenues:</u></b>                      |                     |                                  |                         |                   |
| Special Assessments - Tax Roll               | \$ 1,087,348        | \$ 871,086                       | \$ 871,086              | \$ -              |
| Interest                                     | 15,000              | 5,000                            | 1,431                   | (3,569)           |
| Facility Revenue                             | 2,500               | 1,575                            | 1,575                   | -                 |
| Commercial                                   | 2,436               | -                                | -                       | -                 |
| <b>Total Revenues</b>                        | <b>\$ 1,107,284</b> | <b>\$ 877,661</b>                | <b>\$ 874,141</b>       | <b>\$ (3,520)</b> |
| <b><u>Expenditures:</u></b>                  |                     |                                  |                         |                   |
| <b><u>General &amp; Administrative:</u></b>  |                     |                                  |                         |                   |
| Supervisor Fees                              | \$ 12,000           | 4,000                            | \$ 3,600                | \$ 400            |
| PR-FICA                                      | 918                 | 306                              | 275                     | 31                |
| Engineering                                  | 10,000              | 3,333                            | 620                     | 2,713             |
| Attorney                                     | 18,000              | 6,000                            | 1,354                   | 4,646             |
| Annual Audit                                 | 4,015               | -                                | -                       | -                 |
| Assessment Administration                    | 8,348               | 8,348                            | 8,348                   | -                 |
| Arbitrage Rebate                             | 1,800               | 1,350                            | 1,350                   | -                 |
| Dissemination Agent                          | 10,029              | 3,343                            | 3,343                   | -                 |
| Trustee Fees                                 | 18,700              | 17,916                           | 17,916                  | -                 |
| Management Fees                              | 57,974              | 19,325                           | 19,325                  | -                 |
| Information Technology                       | 2,123               | 708                              | 708                     | -                 |
| Website Maintenance                          | 1,415               | 472                              | 472                     | -                 |
| Telephone                                    | 200                 | 67                               | 176                     | (109)             |
| Postage & Delivery                           | 750                 | 250                              | 776                     | (526)             |
| Meeting Room Rental                          | 1,000               | 333                              | -                       | 333               |
| Insurance General Liability/Public Officials | 8,971               | 8,971                            | 7,885                   | 1,086             |
| Printing & Binding                           | 1,000               | 333                              | 216                     | 118               |
| Legal Advertising                            | 1,000               | 333                              | 276                     | 57                |
| Other Current Charges                        | 500                 | 167                              | 283                     | (116)             |
| Office Supplies                              | 250                 | 83                               | 2                       | 81                |
| Dues, Licenses & Subscriptions               | 175                 | 175                              | 175                     | -                 |
| <b>Total General &amp; Administrative</b>    | <b>\$ 159,167</b>   | <b>\$ 75,813</b>                 | <b>\$ 67,099</b>        | <b>\$ 8,714</b>   |

**Bannon Lakes**  
**Community Development District**  
**General Fund**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted<br>Budget   | Prorated Budget<br>Thru 01/31/26 | Actual<br>Thru 01/31/26 | Variance          |
|--|---------------------|----------------------------------|-------------------------|-------------------|
| <b><u>Operations &amp; Maintenance</u></b>               |                     |                                  |                         |                   |
| <b>Amenity Center Expenditures</b>                       |                     |                                  |                         |                   |
| Insurance  | \$ 30,581           | \$ 30,581                        | \$ 27,946               | \$ 2,635          |
| <b>Utilities</b>   |                     |                                  |                         |                   |
| Phone/Internet/Cable                                     | 4,300               | 1,433                            | 1,272                   | 162               |
| Electric   | 25,000              | 8,333                            | 6,971                   | 1,362             |
| Water/Irrigation   | 15,000              | 5,000                            | 3,390                   | 1,610             |
| Refuse   | 4,266               | 1,422                            | 1,432                   | (10)              |
| <b>Security</b>  |                     |                                  |                         |                   |
| Security Monitoring                                      | 6,694               | 2,298                            | 2,298                   | -                 |
| Off-Duty Security - RollKall                             | 12,000              | 4,000                            | 10,818                  | (6,818)           |
| Access Cards   | 1,000               | -                                | -                       | -                 |
| <b>Management Contracts</b>                              |                     |                                  |                         |                   |
| Facility Management                                      | 81,467              | 27,156                           | 27,156                  | -                 |
| Facility Attendant                                       | 8,820               | 2,940                            | 309                     | 2,631             |
| Field Mgmt / Admin                                       | 30,000              | 10,000                           | 10,000                  | -                 |
| Pool Maintenance   | 14,865              | 4,955                            | 4,955                   | -                 |
| Pool Chemicals   | 12,679              | 4,226                            | 3,239                   | 988               |
| Janitorial   | 10,188              | 3,396                            | 3,276                   | 120               |
| Janitorial Supplies                                      | 1,840               | 613                              | -                       | 613               |
| Facility Maintenance                                     | 40,000              | 13,333                           | 10,688                  | 2,645             |
| Repairs & Maintenance                                    | 55,000              | 18,333                           | 10,787                  | 7,546             |
| Special Events   | 15,000              | 2,318                            | 2,318                   | -                 |
| Holiday Decorations                                      | 5,000               | 3,925                            | 3,925                   | -                 |
| Fitness Center Repairs/Supplies                          | 7,000               | 2,333                            | 1,921                   | 412               |
| Office Supplies  | 1,500               | 500                              | 866                     | (366)             |
| ASCAP/BMI Licenses                                       | 500                 | -                                | -                       | -                 |
| Pest Control   | 3,800               | 1,267                            | 1,040                   | 227               |
| Nuisance Animal Control                                  | 4,788               | 2,796                            | 2,796                   | -                 |
| <b>Subtotal Amenity Center Expenditures</b>              | <b>\$ 391,288</b>   | <b>\$ 151,160</b>                | <b>\$ 137,404</b>       | <b>\$ 13,756</b>  |
| <b>Grounds Maintenance</b>                               |                     |                                  |                         |                   |
| Hydrology Quality/Mitigation                             | \$ 28,000           | \$ 6,900                         | \$ 6,900                | \$ -              |
| Landscape Maintenance                                    | 188,916             | 62,972                           | 62,972                  | -                 |
| Landscape Contingency                                    | 45,000              | 1,357                            | 1,357                   | -                 |
| Tree Removals  | 15,000              | -                                | -                       | -                 |
| Lake Maintenance   | 10,234              | 3,411                            | 3,280                   | 131               |
| Grounds Maintenance                                      | 19,600              | 5,911                            | 5,911                   | -                 |
| Pump Repairs   | 10,000              | -                                | -                       | -                 |
| Streetlights   | 13,000              | 4,333                            | 4,048                   | 285               |
| Streetlight Repairs                                      | 5,000               | -                                | -                       | -                 |
| Irrigation Repairs                                       | 15,000              | 9,694                            | 9,694                   | -                 |
| Miscellaneous  | 5,000               | -                                | -                       | -                 |
| Reclaim Water  | 40,000              | 13,333                           | 15,384                  | (2,051)           |
| Storm Cleanup  | 4,000               | -                                | -                       | -                 |
| Capital Reserve  | 158,079             | -                                | -                       | -                 |
| <b>Subtotal Grounds Maintenance</b>                      | <b>\$ 556,829</b>   | <b>\$ 107,911</b>                | <b>\$ 109,546</b>       | <b>\$ (1,635)</b> |
| <b>Total Operations &amp; Maintenance</b>                | <b>\$ 948,117</b>   | <b>\$ 259,071</b>                | <b>\$ 246,950</b>       | <b>\$ 12,121</b>  |
| <b>Total Expenditures</b>                                | <b>\$ 1,107,284</b> | <b>\$ 334,884</b>                | <b>\$ 314,049</b>       | <b>\$ 20,835</b>  |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ -</b>         |                                  | <b>\$ 560,092</b>       |                   |
| <b>Net Change in Fund Balance</b>                        | <b>\$ -</b>         |                                  | <b>\$ 560,092</b>       | <b>\$ -</b>       |
| <b>Fund Balance - Beginning</b>                          | <b>\$ -</b>         |                                  | <b>\$ 369,708</b>       |                   |
| <b>Fund Balance - Ending</b>                             | <b>\$ -</b>         |                                  | <b>\$ 929,800</b>       |                   |

**Bannon Lakes**  
Community Development District  
Month to Month

|                                | Oct             | Nov              | Dec               | Jan               | Feb         | March       | April       | May         | June        | July        | Aug         | Sept        | Total             |
|--------------------------------|-----------------|------------------|-------------------|-------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------------|
| <b>Revenues:</b>               |                 |                  |                   |                   |             |             |             |             |             |             |             |             |                   |
| Special Assessments - Tax Roll | \$ -            | \$ 63,592        | \$ 126,876        | \$ 680,619        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | 871,086           |
| Special Assessments - Direct   | -               | -                | -                 | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -                 |
| Interest                       | 636             | 268              | 267               | 261               | -           | -           | -           | -           | -           | -           | -           | -           | 1,431             |
| Facility Revenue               | 600             | -                | 500               | 475               | -           | -           | -           | -           | -           | -           | -           | -           | 1,575             |
| Miscellaneous                  | -               | -                | 49                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | 49                |
| <b>Total Revenues</b>          | <b>\$ 1,236</b> | <b>\$ 63,860</b> | <b>\$ 127,691</b> | <b>\$ 681,354</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ 874,141</b> |

**Expenditures:**

**General & Administrative:**

|  |                  |                 |                 |                  |             |             |             |             |             |             |             |             |                  |
|--|------------------|-----------------|-----------------|------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|------------------|
| Supervisor Fees                              | \$ 800           | \$ 1,000        | \$ 1,000        | \$ 800           | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | 3,600            |
| PR-FICA                                      | 61               | 77              | 77              | 61               | -           | -           | -           | -           | -           | -           | -           | -           | 275              |
| Engineering                                  | 388              | -               | 233             | -                | -           | -           | -           | -           | -           | -           | -           | -           | 620              |
| Attorney                                     | 1,354            | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | 1,354            |
| Annual Audit                                 | -                | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | -                |
| Assessment Administration                    | 8,348            | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | 8,348            |
| Arbitrage Rebate                             | -                | -               | -               | 1,350            | -           | -           | -           | -           | -           | -           | -           | -           | 1,350            |
| Dissemination Agent                          | 836              | 836             | 836             | 836              | -           | -           | -           | -           | -           | -           | -           | -           | 3,343            |
| Trustee Fees                                 | 6,450            | -               | -               | 11,466           | -           | -           | -           | -           | -           | -           | -           | -           | 17,916           |
| Management Fees                              | 4,831            | 4,831           | 4,831           | 4,831            | -           | -           | -           | -           | -           | -           | -           | -           | 19,325           |
| Information Technology                       | 177              | 177             | 177             | 177              | -           | -           | -           | -           | -           | -           | -           | -           | 708              |
| Website Maintenance                          | 118              | 118             | 118             | 118              | -           | -           | -           | -           | -           | -           | -           | -           | 472              |
| Telephone                                    | 49               | 89              | 14              | 24               | -           | -           | -           | -           | -           | -           | -           | -           | 176              |
| Postage & Delivery                           | 138              | 326             | 115             | 198              | -           | -           | -           | -           | -           | -           | -           | -           | 776              |
| Meeting Room Rental                          | -                | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | -                |
| Insurance General Liability/Public Officials | 7,885            | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | 7,885            |
| Printing & Binding                           | 101              | 63              | 21              | 31               | -           | -           | -           | -           | -           | -           | -           | -           | 216              |
| Legal Advertising                            | 71               | 69              | 69              | 67               | -           | -           | -           | -           | -           | -           | -           | -           | 276              |
| Other Current Charges                        | 273              | 10              | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | 283              |
| Office Supplies                              | 1                | 0               | 1               | 1                | -           | -           | -           | -           | -           | -           | -           | -           | 2                |
| Dues, Licenses & Subscriptions               | 175              | -               | -               | -                | -           | -           | -           | -           | -           | -           | -           | -           | 175              |
| <b>Total General &amp; Administrative</b>    | <b>\$ 32,056</b> | <b>\$ 7,595</b> | <b>\$ 7,489</b> | <b>\$ 19,959</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ 67,099</b> |

**Operations & Maintenance**

**Amenity Center Expenditures**

|                              |           |       |       |       |      |      |      |      |      |      |      |      |        |
|------------------------------|-----------|-------|-------|-------|------|------|------|------|------|------|------|------|--------|
| Insurance                    | \$ 27,946 | \$ -  | \$ -  | \$ -  | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | 27,946 |
| Utilities                    |           |       |       |       |      |      |      |      |      |      |      |      |        |
| Phone/Internet/Cable         | 318       | 318   | 318   | 318   | -    | -    | -    | -    | -    | -    | -    | -    | 1,272  |
| Electric                     | 1,846     | 1,668 | 1,574 | 1,884 | -    | -    | -    | -    | -    | -    | -    | -    | 6,971  |
| Water/Irrigation             | 703       | 974   | 980   | 734   | -    | -    | -    | -    | -    | -    | -    | -    | 3,390  |
| Gas                          | -         | -     | -     | -     | -    | -    | -    | -    | -    | -    | -    | -    | -      |
| Refuse                       | 307       | 369   | 371   | 386   | -    | -    | -    | -    | -    | -    | -    | -    | 1,432  |
| Security                     | -         | -     | -     | -     | -    | -    | -    | -    | -    | -    | -    | -    | -      |
| Security Monitoring          | 575       | 575   | 575   | 575   | -    | -    | -    | -    | -    | -    | -    | -    | 2,298  |
| Off-Duty Security - RollKall | 4,281     | 2,344 | 2,604 | 1,590 | -    | -    | -    | -    | -    | -    | -    | -    | 10,818 |
| Access Cards                 | -         | -     | -     | -     | -    | -    | -    | -    | -    | -    | -    | -    | -      |
| Management Contracts         |           |       |       |       |      |      |      |      |      |      |      |      |        |
| Facility Management          | 6,789     | 6,789 | 6,789 | 6,789 | -    | -    | -    | -    | -    | -    | -    | -    | 27,156 |
| Facility Attendant           | 84        | -     | -     | 225   | -    | -    | -    | -    | -    | -    | -    | -    | 309    |
| Field Mgmt / Admin           | 2,500     | 2,500 | 2,500 | 2,500 | -    | -    | -    | -    | -    | -    | -    | -    | 10,000 |

**Bannon Lakes**  
Community Development District  
Month to Month

|  | Oct                 | Nov              | Dec              | Jan               | Feb         | March       | April       | May         | June        | July        | Aug         | Sept        | Total          |
|--|---------------------|------------------|------------------|-------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|----------------|
| Pool Maintenance   | 1,239               | 1,239            | 1,239            | 1,239             | -           | -           | -           | -           | -           | -           | -           | -           | 4,955          |
| <b>Continued Amenity Center Expenditures</b>             |                     |                  |                  |                   |             |             |             |             |             |             |             |             |                |
| Pool Chemicals   | 1,105               | 435              | 1,374            | 324               | -           | -           | -           | -           | -           | -           | -           | -           | 3,239          |
| Janitorial   | 819                 | 819              | 819              | 819               | -           | -           | -           | -           | -           | -           | -           | -           | 3,276          |
| Janitorial Supplies                                      | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Facility Maintenance                                     | 3,850               | 3,371            | 3,392            | 76                | -           | -           | -           | -           | -           | -           | -           | -           | 10,688         |
| Repairs & Maintenance                                    | 6,741               | 878              | 2,142            | 1,027             | -           | -           | -           | -           | -           | -           | -           | -           | 10,787         |
| Special Events   | -                   | 994              | 775              | 548               | -           | -           | -           | -           | -           | -           | -           | -           | 2,318          |
| Holiday Decorations                                      | -                   | 3,925            | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | 3,925          |
| Fitness Center Repairs/Supplies                          | 246                 | 109              | 1,247            | 320               | -           | -           | -           | -           | -           | -           | -           | -           | 1,921          |
| Surety Bond  | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Office Supplies  | 291                 | 43               | 99               | 433               | -           | -           | -           | -           | -           | -           | -           | -           | 866            |
| ASCAP/BMI Licenses                                       | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Pest Control   | 260                 | 260              | 260              | 260               | -           | -           | -           | -           | -           | -           | -           | -           | 1,040          |
| Nuisance Animal Control                                  | 249                 | 249              | 1,749            | 549               | -           | -           | -           | -           | -           | -           | -           | -           | 2,796          |
| <b>Subtotal Amenity Center Expenditures</b>              | <b>\$ 60,147</b>    | <b>\$ 27,858</b> | <b>\$ 28,805</b> | <b>\$ 20,595</b>  | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>137,404</b> |
| <b>Grounds Maintenance</b>                               |                     |                  |                  |                   |             |             |             |             |             |             |             |             |                |
| Hydrology Quality/Mitigation                             | \$ 6,900            | \$ -             | \$ -             | \$ -              | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | \$ -        | 6,900          |
| Landscape Maintenance                                    | 15,743              | 15,743           | 15,743           | 15,743            | -           | -           | -           | -           | -           | -           | -           | -           | 62,972         |
| Landscape Contingency                                    | -                   | 405              | 855              | 97                | -           | -           | -           | -           | -           | -           | -           | -           | 1,357          |
| Lake Maintenance   | 820                 | 820              | 820              | 820               | -           | -           | -           | -           | -           | -           | -           | -           | 3,280          |
| Grounds Maintenance                                      | 1,633               | 2,494            | 1,633            | 151               | -           | -           | -           | -           | -           | -           | -           | -           | 5,911          |
| Pump Repairs   | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Streetlights   | 994                 | 994              | 994              | 1,065             | -           | -           | -           | -           | -           | -           | -           | -           | 4,048          |
| Streetlight Repairs                                      | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Irrigation Repairs                                       | 3,631               | 2,761            | 842              | 2,460             | -           | -           | -           | -           | -           | -           | -           | -           | 9,694          |
| Miscellaneous  | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Reclaim Water  | 2,374               | 4,009            | 4,919            | 4,081             | -           | -           | -           | -           | -           | -           | -           | -           | 15,384         |
| Storm Cleanup  | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| Capital Reserve  | -                   | -                | -                | -                 | -           | -           | -           | -           | -           | -           | -           | -           | -              |
| <b>Subtotal Grounds Maintenance</b>                      | <b>\$ 32,095</b>    | <b>\$ 27,227</b> | <b>\$ 25,807</b> | <b>\$ 24,417</b>  | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>109,546</b> |
| <b>Total Operations &amp; Maintenance</b>                | <b>\$ 92,242</b>    | <b>\$ 55,084</b> | <b>\$ 54,612</b> | <b>\$ 45,012</b>  | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>246,950</b> |
| <b>Total Expenditures</b>                                | <b>\$ 124,297</b>   | <b>\$ 62,679</b> | <b>\$ 62,101</b> | <b>\$ 64,972</b>  | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>314,049</b> |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ (123,061)</b> | <b>\$ 1,181</b>  | <b>\$ 65,590</b> | <b>\$ 616,383</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>560,092</b> |
| <b>Total Other Financing Sources/Uses</b>                | <b>\$ -</b>         | <b>\$ -</b>      | <b>\$ -</b>      | <b>\$ -</b>       | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>-</b>       |
| <b>Net Change in Fund Balance</b>                        | <b>\$ (123,061)</b> | <b>\$ 1,181</b>  | <b>\$ 65,590</b> | <b>\$ 616,383</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>\$ -</b> | <b>560,092</b> |

**Bannon Lakes**  
**Community Development District**  
**Debt Service Fund Series 2016**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted           | Prorated Budget   | Actual              |                    |
|--|-------------------|-------------------|---------------------|--------------------|
|  | Budget            | Thru 01/31/26     | Thru 01/31/26       | Variance           |
| <b>Revenues:</b>   |                   |                   |                     |                    |
| Special Assessments - Tax Roll                           | \$ 740,176        | \$ 590,284        | \$ 590,284          | \$ -               |
| Interest Income  | 30,000            | 10,000            | 10,099              | 99                 |
| <b>Total Revenues</b>                                    | <b>\$ 770,176</b> | <b>\$ 600,284</b> | <b>\$ 600,384</b>   | <b>\$ 99</b>       |
| <b>Expenditures:</b>                                     |                   |                   |                     |                    |
| Interest - 11/01   | \$ 254,050        | \$ 254,050        | \$ 254,050          | \$ -               |
| Principal - 11/01  | 230,000           | 230,000           | 230,000             | -                  |
| Special Call - 11/01                                     | -                 | -                 | 25,000              | (25,000)           |
| Interest - 5/01  | 248,875           | -                 | -                   | -                  |
| <b>Total Expenditures</b>                                | <b>\$ 732,925</b> | <b>\$ 484,050</b> | <b>\$ 509,050</b>   | <b>\$ (25,000)</b> |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ 37,251</b>  | <b>\$ 116,234</b> | <b>\$ 91,334</b>    | <b>\$ 25,099</b>   |
| <b>Other Financing Sources/(Uses):</b>                   |                   |                   |                     |                    |
| Transfer In/(Out)  | \$ -              | \$ -              | \$ -                | \$ -               |
| <b>Total Other Financing Sources/(Uses)</b>              | <b>\$ -</b>       | <b>\$ -</b>       | <b>\$ -</b>         | <b>\$ -</b>        |
| <b>Net Change in Fund Balance</b>                        | <b>\$ 37,251</b>  | <b>\$ 116,234</b> | <b>\$ 91,334</b>    | <b>\$ 25,099</b>   |
| <b>Fund Balance - Beginning</b>                          | <b>\$ 660,772</b> |                   | <b>\$ 1,066,682</b> |                    |
| <b>Fund Balance - Ending</b>                             | <b>\$ 698,023</b> |                   | <b>\$ 1,158,015</b> |                    |

**Bannon Lakes**  
**Community Development District**  
**Debt Service Fund Series 2021**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted           | Prorated Budget   | Actual            |                   |
|--|-------------------|-------------------|-------------------|-------------------|
|  | Budget            | Thru 01/31/26     | Thru 01/31/26     | Variance          |
| <b>Revenues:</b>   |                   |                   |                   |                   |
| Special Assessments - Tax Roll                           | \$ 416,052        | \$ 332,558        | \$ 332,558        | \$ -              |
| Interest Income  | 15,000            | 5,000             | 4,278             | (722)             |
| <b>Total Revenues</b>                                    | <b>\$ 431,052</b> | <b>\$ 337,558</b> | <b>\$ 336,836</b> | <b>\$ (722)</b>   |
| <b>Expenditures:</b>                                     |                   |                   |                   |                   |
| Interest - 11/01   | \$ 124,138        | \$ 124,138        | \$ 124,138        | \$ -              |
| Special Call - 11/01                                     | -                 | -                 | 5,000             | (5,000)           |
| Principal - 5/01   | 165,000           | -                 | -                 | -                 |
| Interest - 5/01  | 124,138           | -                 | -                 | -                 |
| <b>Total Expenditures</b>                                | <b>\$ 413,275</b> | <b>\$ 124,138</b> | <b>\$ 129,138</b> | <b>\$ (5,000)</b> |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ 17,777</b>  | <b>\$ 213,421</b> | <b>\$ 207,699</b> | <b>\$ 4,278</b>   |
| <b>Other Financing Sources/(Uses):</b>                   |                   |                   |                   |                   |
| Transfer In/(Out)  | \$ -              | \$ -              | \$ -              | \$ -              |
| <b>Total Other Financing Sources/(Uses)</b>              | <b>\$ -</b>       | <b>\$ -</b>       | <b>\$ -</b>       | <b>\$ -</b>       |
| <b>Net Change in Fund Balance</b>                        | <b>\$ 17,777</b>  | <b>\$ 213,421</b> | <b>\$ 207,699</b> | <b>\$ 4,278</b>   |
| <b>Fund Balance - Beginning</b>                          | <b>\$ 198,003</b> |                   | <b>\$ 412,316</b> |                   |
| <b>Fund Balance - Ending</b>                             | <b>\$ 215,781</b> |                   | <b>\$ 620,014</b> |                   |



**Bannon Lakes**  
**Community Development District**  
**Debt Service Fund Series 2022**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted           | Prorated Budget   | Actual            |                   |
|--|-------------------|-------------------|-------------------|-------------------|
|  | Budget            | Thru 01/31/26     | Thru 01/31/26     | Variance          |
| <b>Revenues:</b>   |                   |                   |                   |                   |
| Special Assessments - Tax Roll                           | \$ 520,023        | \$ 414,255        | \$ 414,255        | -                 |
| Interest Income  | 15,000            | 5,000             | 5,007             | 7                 |
| <b>Total Revenues</b>                                    | <b>\$ 535,023</b> | <b>\$ 419,255</b> | <b>\$ 419,263</b> | <b>\$ 7</b>       |
| <b>Expenditures:</b>                                     |                   |                   |                   |                   |
| Interest - 11/01   | \$ 168,859        | \$ 168,859        | \$ 168,859        | \$ -              |
| Special Call - 11/01                                     | -                 | -                 | 5,000             | (5,000)           |
| Principal - 5/01   | 180,000           | -                 | -                 | -                 |
| Interest - 5/01  | 168,859           | -                 | -                 | -                 |
| <b>Total Expenditures</b>                                | <b>\$ 517,719</b> | <b>\$ 168,859</b> | <b>\$ 173,859</b> | <b>\$ (5,000)</b> |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ 17,305</b>  | <b>\$ 250,396</b> | <b>\$ 245,403</b> | <b>\$ 5,007</b>   |
| <b>Other Financing Sources/(Uses):</b>                   |                   |                   |                   |                   |
| Transfer In/(Out)  | \$ -              | \$ -              | \$ -              | \$ -              |
| <b>Total Other Financing Sources/(Uses)</b>              | <b>\$ -</b>       | <b>\$ -</b>       | <b>\$ -</b>       | <b>\$ -</b>       |
| <b>Net Change in Fund Balance</b>                        | <b>\$ 17,305</b>  | <b>\$ 250,396</b> | <b>\$ 245,403</b> | <b>\$ 5,007</b>   |
| <b>Fund Balance - Beginning</b>                          | <b>\$ 226,230</b> |                   | <b>\$ 491,486</b> |                   |
| <b>Fund Balance - Ending</b>                             | <b>\$ 243,535</b> |                   | <b>\$ 736,890</b> |                   |

**Bannon Lakes**  
**Community Development District**  
**Capital Projects Fund Series 2021 and Series 2022**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Series            | Series            |
|--|-------------------|-------------------|
|  | 2021              | 2022              |
| <b>Revenues</b>  |                   |                   |
| Interest Income  | \$ 423            | \$ 10,997         |
| <b>Total Revenues</b>                                    | <b>\$ 423</b>     | <b>\$ 10,997</b>  |
| <b>Expenditures:</b>                                     |                   |                   |
| Capital Outlay   | \$ 3,000          | \$ -              |
| <b>Total Expenditures</b>                                | <b>\$ 3,000</b>   | <b>\$ -</b>       |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ (2,577)</b> | <b>\$ 10,997</b>  |
| <b>Other Financing Sources/(Uses)</b>                    |                   |                   |
| Transfer In/(Out)  | \$ -              | \$ -              |
| <b>Total Other Financing Sources (Uses)</b>              | <b>\$ -</b>       | <b>\$ -</b>       |
| <b>Net Change in Fund Balance</b>                        | <b>\$ (2,577)</b> | <b>\$ 10,997</b>  |
| <b>Fund Balance - Beginning</b>                          | <b>\$ 34,593</b>  | <b>\$ 898,707</b> |
| <b>Fund Balance - Ending</b>                             | <b>\$ 32,017</b>  | <b>\$ 909,704</b> |

**Bannon Lakes**  
**Community Development District**  
**Capital Reserve Fund**  
**Statement of Revenues, Expenditures, and Changes in Fund Balance**  
**For The Period Ending January 31, 2026**

|  | Adopted           | Prorated Budget  | Actual             |                 |
|--|-------------------|------------------|--------------------|-----------------|
|  | Budget            | Thru 01/31/26    | Thru 01/31/26      | Variance        |
| <b>Revenues</b>  |                   |                  |                    |                 |
| Capital Reserve Transfer In                              | \$ 158,079        | \$ -             | \$ -               | \$ -            |
| POA Contribution   | -                 | -                | -                  | -               |
| Interest   | 2,500             | 833              | 12                 | (821)           |
| <b>Total Revenues</b>                                    | <b>\$ 160,579</b> | <b>\$ 833</b>    | <b>\$ 12</b>       | <b>\$ (821)</b> |
| <b>Expenditures:</b>                                     |                   |                  |                    |                 |
| Capital Outlay   | \$ -              | \$ -             | \$ -               | \$ -            |
| Repairs and Maintenance                                  | 10,000            | -                | -                  | -               |
| Roof Replacement   | 80,000            | 48,021           | 48,021             | -               |
| Other Service Charges                                    | 840               | 280              | 246                | 34              |
| <b>Total Expenditures</b>                                | <b>\$ 90,840</b>  | <b>\$ 48,301</b> | <b>\$ 48,267</b>   | <b>\$ 34</b>    |
| <b>Excess (Deficiency) of Revenues over Expenditures</b> | <b>\$ 69,739</b>  |                  | <b>\$ (48,254)</b> |                 |
| <b>Other Financing Sources/(Uses)</b>                    |                   |                  |                    |                 |
| Transfer In/(Out)  | \$ -              | \$ -             | \$ -               | \$ -            |
| <b>Total Other Financing Sources (Uses)</b>              | <b>\$ -</b>       | <b>\$ -</b>      | <b>\$ -</b>        | <b>\$ -</b>     |
| <b>Net Change in Fund Balance</b>                        | <b>\$ 69,739</b>  |                  | <b>\$ (48,254)</b> |                 |
| <b>Fund Balance - Beginning</b>                          | <b>\$ 34,977</b>  |                  | <b>\$ 26,630</b>   |                 |
| <b>Fund Balance - Ending</b>                             | <b>\$ 104,716</b> |                  | <b>\$ (21,625)</b> |                 |

**Bannon Lakes**  
**Community Development District**  
**Long Term Debt Report**

| Series 2016 Special Assessment Bonds |                                    |
|--------------------------------------|------------------------------------|
| Interest Rate:                       | 4.5% -5.0%                         |
| Maturity Date:                       | 11/1/2048                          |
| Reserve Fund Definition              | 50% of Maximum Annual Debt Service |
| Reserve Fund Requirement             | \$370,375                          |
| Reserve Fund Balance                 | 370,375                            |
| <br>                                 |                                    |
| Bonds Outstanding - 1/31/16          | \$11,850,000                       |
| Less: May 1, 2016                    | \$0                                |
| Less: May 1, 2019 (Prepayment)       | (\$50,000)                         |
| Less: November 1, 2019               | (\$190,000)                        |
| Less: November 1, 2019 (Prepayment)  | (\$45,000)                         |
| Less: May 1, 2020 (Prepayment)       | (\$140,000)                        |
| Less: November 1, 2020               | (\$190,000)                        |
| Less: November 1, 2020 (Prepayment)  | (\$135,000)                        |
| Less: May 1, 2021                    | (\$30,000)                         |
| Less: November 1, 2021               | (\$195,000)                        |
| Less: November 1, 2021 (Prepayment)  | (\$25,000)                         |
| Less: May 1, 2022 (Prepayment)       | (\$25,000)                         |
| Less: November 1, 2022               | (\$200,000)                        |
| Less: May 1, 2023 (Prepayment)       | (\$5,000)                          |
| Less: November 1, 2023               | (\$210,000)                        |
| Less: November 1, 2024               | (\$220,000)                        |
| Less: May 1, 2025 (Prepayment)       | (\$5,000)                          |
| Less: November 1, 2025               | (\$230,000)                        |
| Less: November 1, 2025 (Prepayment)  | (\$25,000)                         |
| <b>Current Bonds Outstanding</b>     | <b>\$9,930,000</b>                 |

| Series 2021 Special Assessment Bonds |                                    |
|--------------------------------------|------------------------------------|
| Interest Rate:                       | 2.5% -4.0%                         |
| Maturity Date:                       | 5/1/1951                           |
| Reserve Fund Definition              | 50% of Maximum Annual Debt Service |
| Reserve Fund Requirement             | \$206,950                          |
| Reserve Fund Balance                 | 206,950                            |
| <br>                                 |                                    |
| Bonds Outstanding - 1/20/21          | \$7,415,000                        |
| Less: May 1, 2022                    | (\$150,000)                        |
| Less: May 1, 2023                    | (\$155,000)                        |
| Less: November 1, 2023 (Prepayment)  | (\$5,000)                          |
| Less: May 1, 2024                    | (\$155,000)                        |
| Less: May 1, 2025                    | (\$160,000)                        |
| Less: May 1, 2025 (Prepayment)       | (\$5,000)                          |
| Less: November 1, 2025 (Prepayment)  | (\$5,000)                          |
| <b>Current Bonds Outstanding</b>     | <b>\$6,780,000</b>                 |

| Series 2022 Special Assessment Bonds |                                    |
|--------------------------------------|------------------------------------|
| Interest Rate:                       | 2.875% -4.0%                       |
| Maturity Date:                       | 5/1/1951                           |
| Reserve Fund Definition              | 50% of Maximum Annual Debt Service |
| Reserve Fund Requirement             | \$259,400                          |
| Reserve Fund Balance                 | 259,400                            |
| <br>                                 |                                    |
| Bonds Outstanding - 2/25/22          | \$9,135,000                        |
| Less: May 1, 2024                    | (\$170,000)                        |
| Less: May 1, 2024 (Prepayment)       | (\$60,000)                         |
| Less: May 1, 2025                    | (\$175,000)                        |
| Less: May 1, 2025 (Prepayment)       | (\$5,000)                          |
| Less: November 1, 2025 (Prepayment)  | (\$5,000)                          |
| <b>Current Bonds Outstanding</b>     | <b>\$8,720,000</b>                 |

|                                |                     |
|--------------------------------|---------------------|
| <b>Total Bonds Outstanding</b> | <b>\$25,430,000</b> |
|--------------------------------|---------------------|

*B.*

**Bannon Lakes Community Development District**  
**FY26 Assessment Receipts**

| ASSESSED TO       | # Units | SERIES 2016<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2021<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2022<br>DEBT<br>SERVICE<br>ASMNT | O&M<br>ASMNT | TOTAL<br>ASMNTS |
|-------------------|---------|---|---|---|--------------|-----------------|
| TAX ROLL ASSESSED | 986     | 738,484.29                              | 416,052.05                              | 518,260.67                              | 1,089,786.08 | 2,762,583.09    |

| DUE / RECEIVED    | BALANCE DUE | SERIES 2016<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2021<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2022<br>DEBT<br>SERVICE<br>RECEIVED | O&M<br>RECEIVED | TOTAL<br>RECEIVED |
|-------------------|-------------|--|--|--|-----------------|-------------------|
| TAX ROLL RECEIPTS | 554,398.94  | 590,284.27                                 | 332,558.15                                 | 414,255.41                                 | 871,086.34      | 2,208,184.15      |

## TAX ROLL RECEIPTS

[illegible]

|                            |        |        |        |        |        |
|----------------------------|--------|--------|--------|--------|--------|
| PERCENT COLLECTED TAX ROLL | 79.93% | 79.93% | 79.93% | 79.93% | 79.93% |
|----------------------------|--------|--------|--------|--------|--------|

*C.*

**Bannon Lakes**  
**Community Development District**  
Check Run Summary

| Date  | Check Numbers           | Amount       | Amount                |
|---|-------------------------|--------------|-----------------------|
| General Fund                                |                         |              |                       |
| 1/6/26                                      | 1930-1939               | \$7,262.48   |                       |
| 1/13/26                                     | 1940-1951               | 329,487.09   |                       |
| 1/21/26                                     | 1952-1960               | 1,060,249.82 |                       |
| 1/27/26                                     | 1961-1963               | 1,930.00     |                       |
| <b>Total General Fund Checks</b>            |                         |              | <b>\$1,398,929.39</b> |
| Autopayments                                |                         |              |                       |
| 1/2/26                                      | RollKall                | \$260.40     |                       |
| 1/6/26                                      | AT&T                    | 74.90        |                       |
| 1/6/26                                      | Republic Services       | 385.91       |                       |
| 1/20/26                                     | RollKall                | 783.15       |                       |
| 1/20/26                                     | SJCUD                   | 4,814.67     |                       |
| 1/20/26                                     | AT&T                    | 243.08       |                       |
| 1/26/26                                     | RollKall                | 546.00       |                       |
| 1/26/26                                     | IRS FICA Payment        | 122.40       |                       |
| 1/26/26                                     | FPL                     | 2,949.31     |                       |
| 1/28/26                                     | Wells Fargo Credit Card | 685.69       |                       |
| <b>Total Paid Electronically</b>            |                         |              | <b>\$10,865.51</b>    |
| <b>Total Paid Checks and Electronically</b> |                         |              | <b>\$1,409,794.90</b> |

\* Fedex Invoices will be available upon request



| CHECK<br>DATE | VEND# | .....INVOICE.....<br>DATE INVOICE | ...EXPENSED TO...<br>YRMO DPT ACCT# SUB SUBCLASS | VENDOR NAME                     | STATUS | AMOUNT    | ....CHECK.....<br>AMOUNT # |
|---------------|-------|-----------------------------------|--|---------------------------------|--------|-----------|----------------------------|
| 1/06/26       | 00107 | 12/30/25 AC12278                  | 202512 320-57200-60100                           | FITNESS CENTER REPAIRS          | *      | 1,000.70  |                            |
|               |       |                                   |  | COMMERCIAL FITNESS PRODUCTS INC |        |           | 1,000.70 001930            |
| 1/06/26       | 00126 | 1/05/26 00100306                  | 202601 330-53800-46100                           | PET WASTE BAGS/LINERS           | *      | 151.00    |                            |
|               |       |                                   |  | DOODYCALLS OF JACKSONVILLE FL   |        |           | 151.00 001931              |
| 1/06/26       | 00122 | 1/02/26 764421                    | 202601 320-57200-34500                           | VIDEO MONITORING - FEB26        | *      | 574.59    |                            |
|               |       |                                   |  | HIDDEN EYES LLC                 |        |           | 574.59 001932              |
| 1/06/26       | 00092 | 12/31/25 7504689                  | 202512 310-51300-48000                           | NOTICE OF MEETING-12/16         | *      | 68.64     |                            |
|               |       |                                   |  | GANNETT FLORIDA LOCALIQ         |        |           | 68.64 001933               |
| 1/06/26       | 00128 | 1/01/26 263010                    | 202601 320-57200-45300                           | JAN JANITORIAL SERVICES         | *      | 819.00    |                            |
|               |       |                                   |  | HIGH TECH COMMERCIAL CLEANING   |        |           | 819.00 001934              |
| 1/06/26       | 00017 | 1/01/26 336277B                   | 202601 330-53800-46800                           | JAN LAKE MAINTENANCE            | *      | 820.00    |                            |
|               |       |                                   |  | THE LAKE DOCTORS INC            |        |           | 820.00 001935              |
| 1/06/26       | 00013 | 12/22/25 1273                     | 202512 330-57200-46210                           | PLANT INSTALLATION-12/19        | *      | 855.00    |                            |
|               |       |                                   |  | LANDCARE GROUP INC              |        |           | 855.00 001936              |
| 1/06/26       | 00019 | 12/22/25 13129563                 | 202512 320-57200-45210                           | DEC POOL CHEMICALS              | *      | 1,224.55  |                            |
|               |       |                                   |  | POOLSURE                        |        |           | 1,224.55 001937            |
| 1/06/26       | 00074 | 1/01/26 38506                     | 202601 320-57200-54510                           | WILDLIFE MANAGEMENT-JAN         | *      | 249.00    |                            |
|               |       |                                   |  | QUICK CATCH INC                 |        |           | 249.00 001938              |
| 1/06/26       | 00074 | 12/30/25 38499                    | 202512 320-57200-54510                           | HOG REMOVAL                     | *      | 1,500.00  |                            |
|               |       |                                   |  | QUICK CATCH INC                 |        |           | 1,500.00 001939            |
| 1/13/26       | 00037 | 1/09/26 01092026                  | 202601 300-20700-10200                           | 11/4 SJC TAX DIST 1             | *      | 3,670.91  |                            |
|               |       | 1/09/26 01092026                  | 202601 300-20700-10200                           | 11/20 SJC TAX DIST 2            | *      | 14,320.13 |                            |
|               |       | 1/09/26 01092026                  | 202601 300-20700-10200                           | 11/24 SJC TAX DIST 3            | *      | 25,101.69 |                            |

BANL -BANNON LAKES- TLEE

| CHECK<br>DATE | VEND# | .....INVOICE.....<br>DATE INVOICE | ...EXPENSED TO...<br>YRMO DPT ACCT# SUB SUBCLASS        | VENDOR NAME                       | STATUS | AMOUNT    | ....CHECK....<br>AMOUNT # |
|---------------|-------|-----------------------------------|---|-----------------------------------|--------|-----------|---------------------------|
|               |       | 1/09/26                           | 01092026 202601 300-20700-10200<br>12/17 SJC TAX DIST 4 |                                   | *      | 46,126.32 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10200<br>12/24 SJC TAX DIST 5 |                                   | *      | 39,849.82 |                           |
|               |       |                                   |   | BANNON LAKES CDD C/O BANK OF NEW  |        |           | 129,068.87 001940         |
| 1/13/26       | 00076 | 1/09/26                           | 01092026 202601 300-20700-10300<br>11/4 SJC TAX DIST 1  |                                   | *      | 2,068.14  |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10300<br>11/20 SJC TAX DIST 2 |                                   | *      | 8,067.77  |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10300<br>11/24 SJC TAX DIST 3 |                                   | *      | 14,141.95 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10300<br>12/17 SJC TAX DIST 4 |                                   | *      | 25,986.94 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10300<br>12/24 SJC TAX DSIT 5 |                                   | *      | 22,450.85 |                           |
|               |       |                                   |   | BANNON LAKES CDD C/O BANK OF NEW  |        |           | 72,715.65 001941          |
| 1/13/26       | 00113 | 1/09/26                           | 01092026 202601 300-20700-10400<br>11/4 SJC TAX DIST 1  |                                   | *      | 2,576.21  |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10400<br>11/20 SJC TAX DIST 2 |                                   | *      | 10,049.72 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10400<br>11/24 SJC TAX DIST 3 |                                   | *      | 17,616.11 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10400<br>12/17 SJC TAX DIST 4 |                                   | *      | 32,370.98 |                           |
|               |       | 1/09/26                           | 01092026 202601 300-20700-10400<br>12/24 SJC TAX DIST 5 |                                   | *      | 27,966.19 |                           |
|               |       |                                   |   | BANNON LAKES CDD C/O BANK OF NEW  |        |           | 90,579.21 001942          |
| 1/13/26       | 00003 | 1/01/26                           | 141 202601 310-51300-34000<br>JAN MANAGEMENT FEES       |                                   | *      | 4,831.17  |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-53000<br>JAN WEBSITE ADMIN         |                                   | *      | 117.92    |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-35100<br>JAN INFORMATION TECH      |                                   | *      | 176.92    |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-31600<br>JAN DISSEMINATION SVCS    |                                   | *      | 835.75    |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-51000<br>OFFICE SUPPLIES           |                                   | *      | .57       |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-42000<br>POSTAGE                   |                                   | *      | 197.84    |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-42500<br>COPIES                    |                                   | *      | 31.05     |                           |
|               |       | 1/01/26                           | 141 202601 310-51300-41000<br>TELEPHONE                 |                                   | *      | 23.78     |                           |
|               |       |                                   |   | GOVERNMENTAL MANAGEMENT SRVCS LLC |        |           | 6,215.00 001943           |
|               |       |                                   |   | BANL -BANNON LAKES- TLEE          |        |           |                           |





| CHECK<br>DATE        | VEND# | .....INVOICE.....<br>DATE INVOICE | ...EXPENSED TO...<br>YRMO DPT ACCT# SUB SUBCLASS | VENDOR NAME        | STATUS | AMOUNT       | ....CHECK.....<br>AMOUNT # |
|----------------------|-------|-----------------------------------|--|--------------------|--------|--------------|----------------------------|
| 1/27/26              | 00030 | 1/21/26                           | 1220976 202601 320-57200-54500                   | JAN PEST CONTROL   | *      | 160.00       |                            |
|                      |       | 1/21/26                           | 1220976 202601 320-57200-54500                   | JAN RODENT CONTROL | *      | 100.00       |                            |
| FREEDOM PEST CONTROL |       |                                   |  |                    |        |              | 260.00 001963              |
| -----                |       |                                   |  |                    |        |              |                            |
| TOTAL FOR BANK A     |       |                                   |  |                    |        | 1,398,929.39 |                            |
| TOTAL FOR REGISTER   |       |                                   |  |                    |        | 1,398,929.39 |                            |

# CommercialFitnessProducts

## Invoice

5034 N Hiatus Road 954-747-5128 Phone  
 Sunrise, FL 33351 954-747-5131 Fax

| Date       | Invoice # |
|------------|-----------|
| 12/30/2025 | AC12278   |

|         |         |
|---------|---------|
| Sold To | Ship To |
|---------|---------|

Bannon Lakes  
 435 Bannon Lakes Blvd.  
 St. Augustine, FL 32095

Bannon Lakes  
 435 Bannon Lakes Blvd.  
 St. Augustine, FL 32095

| Rep  | Account # | Sales Order No.                   | Ship Date  | Purchase Order # | Terms      | Due Date  |
|--|-----------|-----------------------------------|------------|------------------|------------|-----------|
| AB   | BL435     | WO#3899                           | 12/30/2025 | Verbal           | Net 30     | 1/29/2026 |
| Qty  | Item Code | Description                       |            |                  | Price Each | Amount    |
| 1  | Part      | Clutch Assembly                   |            |                  | 185.70     | 185.70    |
| 1  | Part      | Water Rower                       |            |                  | 695.00     | 695.00    |
| 1  | Labor     | Technician installed part listed. |            |                  | 95.00      | 95.00     |
|  |           | Subtotal                          |            |                  |            | 975.70    |
| 1  | Freight   | Inbound Shipping                  |            |                  | 25.00      | 25.00     |
| <div>Approved 12/31/25<br/>Jeff Joihnson<br/>Fitness center repairs<br/>1.320.57200.60100</div> <div>RECEIVED<br/>By Tara Lee at 6:06 am, Jan 02, 2026</div> |           |                                   |            |                  |            |           |

|  |                         |                   |
|--|-------------------------|-------------------|
| Thank you for your business!   | <b>Total</b>            | <b>\$1,000.70</b> |
|  | <b>Payments/Credits</b> | <b>\$0.00</b>     |
| <a href="http://www.commfitnessproducts.com">www.commfitnessproducts.com</a> | <b>Balance Due</b>      | <b>\$1,000.70</b> |

DoodyCalls of Jacksonville  
 3948 3<sup>rd</sup> Street S, #442  
 Jacksonville Beach, FL 32250  
 Phone 904-338-4236



INVOICE 00100306

1/5/2026

**BILL TO**

Bannon Lakes CDD  
 435 Bannon Lakes Blvd  
 St Augustline, FL 32095

**SHIP TO**

Same as  
 recipient

**INSTRUCTIONS**

Email: jjohnson@rmsnf.com

| Qty | Date     | Description   | Unit Price | Total    |
|-----|----------|---|------------|----------|
| 2   | 1/5/2026 | Pet Waste Roll Bags – case – 2000ct   | \$ 43.00   | \$ 86.00 |
| 1   | 1/5/2026 | Pet Waste Container Liners – case   | \$ 65.00   | \$ 65.00 |
|     |          | exempt  |            |          |
|     |          | Approved 1/5/26<br>Jeff Johnson<br>Grounds Maintenance<br>1.330.53800.46100 |            |          |

|                          |                  |
|--------------------------|------------------|
| SUBTOTAL                 | \$ 151.00        |
| SALES TAX                | \$ 0.00          |
| SHIPPING & HANDLING      | --               |
| <b>TOTAL DUE BY DATE</b> | <b>\$ 151.00</b> |

Thank you for your business!

**Envera**

8281 Blaikie Court  
Sarasota, FL 34240  
(941) 556-7066

Approved 1/5/26  
Security  
1.320.57200.34500

**Invoice**

Invoice Number  
764421

Date  
01/02/2026

Customer Number  
400558

Due Date  
02/01/2026

Page: 1

| Customer Name    | Customer Number | PO Number | Invoice Date | Due Date   |
|------------------|-----------------|-----------|--------------|------------|
| Bannon Lakes CDD | 400558          |           | 01/02/2026   | 02/01/2026 |

| Quantity  | Description  | Months | Rate     | Amount   |
|---|--|--------|----------|----------|
| 3047 - CCTV - Bannon Lakes CDD - Bannon Lakes Blvd, Saint Augustine, FL |  |        |          |          |
| 1.00  | Active Video Monitoring<br>02/01/2026 - 02/28/2026 | 1.00   | \$206.00 | \$206.00 |
| 1.00  | Passive Standard Camera<br>02/01/2026 - 02/28/2026 | 1.00   | \$128.75 | \$128.75 |
| 1.00  | Service & Maintenance<br>02/01/2026 - 02/28/2026   | 1.00   | \$239.84 | \$239.84 |
| Subtotal:   |  |        |          | \$574.59 |
| Tax   |  |        |          | \$0.00   |
| Payments/Credits Applied  |  |        |          | \$0.00   |
| Invoice Balance Due:  |  |        |          | \$574.59 |

**RECEIVED**

By Tara Lee at 10:09 am, Jan 05, 2026

| Date     | Invoice # | Description         | Amount   | Balance Due |
|----------|-----------|---------------------|----------|-------------|
| 1/2/2026 | 764421    | Monitoring Services | \$574.59 | \$574.59    |

**Envera**

8281 Blaikie Court  
Sarasota, FL 34240  
(941) 556-7066

**Invoice**

Invoice Number  
764421

Date  
01/02/2026

Customer Number  
400558

Due Date  
02/01/2026

Net Due: \$574.59

Amount Enclosed: \_\_\_\_\_

Bannon Lakes CDD  
C/O Governmental Mgmt Serv  
475 W Town Pl., Ste 114  
Saint Augustine, FL 32092

REMIT TO:

Envera  
PO Box 2086  
Hicksville, NY 11802





|  |  |                                  |                      |
|--|--|----------------------------------|----------------------|
| ACCOUNT NAME<br>Bannon Lakes Cdd - Gms |  | ACCOUNT #<br>764131              | INV DATE<br>12/31/25 |
| INVOICE #<br>0007504689                | INVOICE PERIOD<br>Dec 1- Dec 31, 2025        | CURRENT INVOICE TOTAL<br>\$68.64 |                      |
| PREPAY<br>(Memo Info)<br>\$0.00        | UNAPPLIED<br>(included in amt due)<br>\$0.00 | TOTAL CASH AMT DUE*<br>\$68.64   |                      |

|   |  |
|---|--|
| BILLING ACCOUNT NAME AND ADDRESS<br><br>Bannon Lakes Cdd - Gms<br>475 W Town Place, Ste 114<br>Saint Augustine, FL 32092  | PAYMENT DUE DATE: JANUARY 31, 2026<br><br>Legal Entity: Gannett Media Corp.<br>Terms and Conditions: Past due accounts are subject to interest at the rate of 18% per annum or the maximum legal rate (whichever is less). Advertiser claims for a credit related to rates incorrectly invoiced or paid must be submitted in writing to Publisher within 30 days of the invoice date or the claim will be waived. Any credit towards future advertising must be used within 30 days of issuance or the credit will be forfeited.<br>All funds payable in US dollars. |
| BILLING INQUIRIES/ADDRESS CHANGES 1-877-736-7612 or <a href="mailto:smb@ccc.gannett.com">smb@ccc.gannett.com</a>  | FEDERAL ID 47-2390983  |
| Save A Tree! Gannett is going paperless. Enjoy the convenience of accessing your billing information anytime and pay online. To avoid missing an invoice, sign up today by going to <a href="https://gcil.my.site.com/financialservicesportal/s/">https://gcil.my.site.com/financialservicesportal/s/</a> . |  |

| Date     | Description         | Amount   |
|----------|---------------------|----------|
| 12/1/25  | Balance Forward     | \$68.64  |
| 12/22/25 | PAYMENT - THANK YOU | -\$68.64 |

| Package Advertising: |              |                         |                               |           |              |
|----------------------|--------------|-------------------------|-------------------------------|-----------|--------------|
| Start-End Date       | Order Number | Product                 | Description                   | PO Number | Package Cost |
| 12/8/25              | 11846494     | SAG St Augustine Record | Bannon Lakes December Meeting |           | \$68.64      |

**RECEIVED**

By Tara Lee at 11:28 am, Jan 05, 2026

As an incentive for customers, we provide a discount off the total invoice cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and Save!

|                                   |         |
|-----------------------------------|---------|
| Total Cash Amount Due             | \$68.64 |
| Service Fee 3.99%                 | \$2.74  |
| *Cash/Check/ACH Discount          | -\$2.74 |
| *Payment Amount by Cash/Check/ACH | \$68.64 |
| Payment Amount by Credit Card     | \$71.38 |

**PLEASE DETACH AND RETURN THIS PORTION WITH YOUR PAYMENT**

| ACCOUNT NAME  |                  | ACCOUNT NUMBER   |   | INVOICE NUMBER     |                    | AMOUNT PAID               |
|---|------------------|------------------|---|--------------------|--------------------|---------------------------|
| Bannon Lakes Cdd - Gms  |                  | 764131           |   | 0007504689         |                    |                           |
| CURRENT DUE   | 30 DAYS PAST DUE | 60 DAYS PAST DUE | 90 DAYS PAST DUE  | 120+ DAYS PAST DUE | UNAPPLIED PAYMENTS | TOTAL CASH AMT DUE*       |
| \$68.64   | \$0.00           | \$0.00           | \$0.00  | \$0.00             | \$0.00             | \$68.64                   |
| REMITTANCE ADDRESS (Include Account# & Invoice# on check)             |                  |                  | TO PAY BY PHONE PLEASE CALL:  |                    |                    | TOTAL CREDIT CARD AMT DUE |
| Gannett Florida LocaliQ<br>PO Box 631244<br>Cincinnati, OH 45263-1244 |                  |                  | 1-877-736-7612  |                    |                    | \$71.38                   |
|   |                  |                  | To sign up for E-mailed invoices and online payments please go to <a href="https://gcil.my.site.com/financialservicesportal/s/">https://gcil.my.site.com/financialservicesportal/s/</a> . |                    |                    |                           |

00007641310000000000000075046890000686467178

# LOCALIQ

## FLORIDA

PO Box 631244 Cincinnati, OH 45263-1244

### **AFFIDAVIT OF PUBLICATION**

Katelyn Beach  
Bannon Lakes Cdd - Gms  
475 W Town Place, Ste 114

Saint Augustine FL 32092

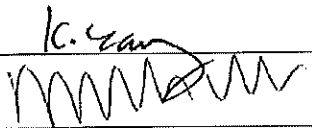
STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the St Augustine Record, published in St Johns County, Florida; that the attached copy of advertisement, being a Public Notices, was published on the publicly accessible website of St Johns County, Florida, or in a newspaper by print in the issues of, on:

SAG St Augustine Record 12/08/2025  
SAG staugustine.com 12/08/2025

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 12/08/2025

Legal Clerk 

Notary, State of WI, County of Brown

8.25.26

My commission expires

|                   |          |              |
|-------------------|----------|--------------|
| Publication Cost: | \$68.64  |              |
| Tax Amount:       | \$0.00   |              |
| Payment Cost:     | \$68.64  |              |
| Order No:         | 11846494 | # of Copies: |
| Customer No:      | 764131   | 1            |
| PO #:             |          |              |

**THIS IS NOT AN INVOICE!**

*Please do not use this form for payment remittance.*



MARIAH VERHAGEN  
Notary Public  
State of Wisconsin

### **NOTICE OF MEETING BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Bannon Lakes Community Development District will be held on Tuesday, December 16, 2025 at 6:00 p.m. at the Bannon Lakes Amenity Center 435 Bannon Lakes Blvd, St. Augustine, Florida 32092. The meeting is open to the public and will be conducted in accordance with the provisions of Florida Law for Community Development Districts. A copy of the agenda for this meeting may be obtained from the District Manager, at 475 West Town Place, Suite 114, St. Augustine, FL 32092 (and phone (904) 940-5850). This meeting may be continued to a date, time, and place to be specified on the record at the meeting. There may be occasions when one or more Supervisors will participate by telephone. Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Office at (904) 940-5850 at least two calendar days prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service at 1-800-955-8770, for aid in contacting the District Office. Each person who decides to appeal any action taken at these meetings is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based. James Oliver  
District Manager  
Pub: Dec 8, 2025 #11846494



MAKE CHECK PAYABLE TO:



Post Office Box 162134  
Altamonte Springs, FL 32716  
(904) 262-5500

PLEASE FILL OUT BELOW IF PAYING BY CREDIT CARD



|             |             |
|-------------|-------------|
| CARD NUMBER | EXP. DATE   |
| SIGNATURE   | AMOUNT PAID |

**ADDRESSEE**

☐ Please check if address below is incorrect and indicate change on reverse side

BANNON LAKES CDD  
Diana Lambert  
475 W Town Place  
Suite 114  
St Augustine, FL 32092

| ACCOUNT NUMBER | DATE     | BALANCE  |
|----------------|----------|----------|
| 723475         | 1/1/2026 | \$820.00 |

The Lake Doctors  
Post Office Box 162134  
Altamonte Springs, FL 32716

00000000116522001000000033627700000008200069

Please return this invoice with your payment and  
notify us of any changes to your contact information.

**BANNON LAKES CDD**

**435 Bannon Lakes Blvd, St Augustine, FL St Augustine, FL 32092**

**Invoice Due Date 1/11/2026**

**Invoice 336277B**

**PO #**

| Invoice Date | Description                | Quantity | Amount   | Tax    | Total    |
|--------------|----------------------------|----------|----------|--------|----------|
| 1/1/2026     | Water Management - Monthly |          | \$820.00 | \$0.00 | \$820.00 |

Please remit payment for this month's invoice.

approved 1/2/26  
Jeff Johnson  
Lake Maintenance  
1.330.53800.46800

**RECEIVED**  
**By Tara Lee at 12:20 pm, Jan 02, 2026**

Please provide remittance information when submitting payments,  
otherwise payments will be applied to the oldest outstanding invoices.

|            |        |
|------------|--------|
| Credits    | \$0.00 |
| Adjustment | \$0.00 |

**AMOUNT DUE**

**Total Account Balance including this invoice:**

\$820.00

**This Invoice Total:**

\$820.00

**Click the "Pay Now" link to submit payment by ACH**

**Customer #:** 723475  
**Portal Registration #:** 0F4EFD82  
**Customer E-mail(s):** jjohnson@rmsnf.com  
**Customer Portal Link:** www.lakedoctors.com/contact-us/

**Corporate Address**  
4651 Salisbury Rd, Suite 155  
Jacksonville, FL 32256

Set Up Customer Portal to pay Invoices online, set up recurring payments, view payment history, and edit contact information

35 Enterprise Drive  
Bunnell, FL 32110

# INVOICE

|                |               |
|----------------|---------------|
| Invoice Number | 1273          |
| Invoice Date   | 12/22/25      |
| Payment Terms  | Net 30        |
| PO Number      |               |
| Sales Rep      | David Jackson |

**Bill To**

Bannon Lakes CDD  
Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

**Property Address**

Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

[illegible]

## Current

\$20,228.54

**1-30 Days  
Past Due**

\$0.00

**31-60 Days  
Past Due**

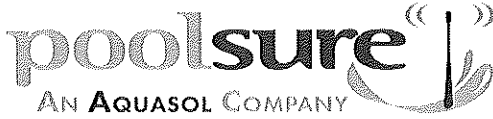
\$0.00

**61-90 Days  
Past Due**

\$0.00

**90+ Days  
Past Due**

\$0.00



1707 Townhurst Dr.  
Houston TX 77043  
(800) 858-POOL (7665)  
www.poolsure.com

Invoice

Date 12/22/2025  
Invoice # 131295633608

|                   |                      |
|-------------------|----------------------|
| Terms             | Net 20               |
| Due Date          | 1/11/2026            |
| PO #              |                      |
| Delivery Ticket # | Sales Order #1356507 |
| Delivery Date     | 12/22/2025           |
| Delivery Location | Bannon Lakes Pool    |
| Customer #        | 13BAN025             |

|  |   |
|--|---|
| <b>Bill To</b><br>Riverside Management Services<br>Bannon Lakes CDD<br>9655 Florida Minning Blvd West<br>bldg 300 suite 305<br>Jacksonville FL 32257 | <b>Ship To</b><br>Bannon Lakes CDD<br>435 Bannon Lakes Blvd<br>St. Augustine FL 32095 |
|--|---|

THANK YOU FOR YOUR BUSINESS!

| Item ID | Item                       | Quantity | Units | Rate    | Amount     |
|---------|----------------------------|----------|-------|---------|------------|
| 115-300 | Bleach Minibulk Delivered  | 300      | gal   | \$3.35  | \$1,005.00 |
| 160-050 | Pool Acid bulk by Gallon   | 45       | gal   | \$3.19  | \$143.55   |
| 135-010 | Sodium Bicarbonate 50# bag | 2        |       | \$38.00 | \$76.00    |

|                            |            |
|----------------------------|------------|
| Subtotal                   | \$1,224.55 |
| Tax                        | \$0.00     |
| Total                      | \$1,224.55 |
| Amount Paid/Credit Applied | \$0.00     |
| Balance Due                | \$1,224.55 |

[Click Here to Pay Now](#)



Approved 12/29/25  
Jeff Johnson  
Pool Chemicals  
1.320.57200.45210

**RECEIVED**

By Tara Lee at 6:08 am, Jan 02, 2026



131295633608

# INVOICE

QUICK CATCH INC  
12627 San Jose Blvd Suite 205  
Jacksonville, FL 32223

admin@quick-catch.com  
+1 (904) 859-6585  
www.quick-catch.com



## Bill to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

## Ship to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

## Invoice details

P.O. Number: OSKX

Invoice no.: 38506  
Terms: Net 14  
Invoice date: 01/01/2026  
Due date: 01/15/2026

| #  | Date | Product or service  | Description   | Qty | Rate     | Amount   |
|----|------|---------------------|---|-----|----------|----------|
| 1. |      | WILDLIFE MANAGEMENT | -Continuous hog removal program to include use of traps, archery equipment, and discreet suppressed rifle use (when needed)<br>-Deer management program (only during deer season Sept 19th-Jan 24th) discreet removal of excess deer to maintain proper herd health using archery equipment<br>-Misc. non target animal trapping when interfering with our bait/trap sites<br>-Any animal trapped under the management plan. There is a per animal removal fee \$95 | 1   | \$249.00 | \$249.00 |

Total **\$249.00**

## Ways to pay



## Note to customer

Bridge Bay Sales Center  
Terri Fawcett  
23 Bridge Oak Lane  
Saint Augustine, FL 32095

Approved 1/2/26  
Jeff Johnson  
Nuisance Animal Control  
1.320.57200.54510

View and pay

**RECEIVED**

By Tara Lee at 12:22 pm, Jan 02, 2026

# INVOICE

QUICK CATCH INC

12627 San Jose Blvd Suite 205  
Jacksonville, FL 32223

admin@quick-catch.com

+1 (904) 859-6585

www.quick-catch.com



## Bill to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

## Ship to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

## Invoice details

Invoice no.: 38499

Terms: Net 14

Invoice date: 12/30/2025

Due date: 01/13/2026

Approved 12/30/25

Jeff Johnson

Nuisance Animal Control

1.320.57200.54510

| #  | Date | Product or service        | Description               | Qty | Rate     | Amount     |
|----|------|---------------------------|---------------------------|-----|----------|------------|
| 1. |      | Hog Removal Up to 100 lbs | Hog Removal Up to 100 lbs | 10  | \$150.00 | \$1,500.00 |

Total

**\$1,500.00**

## Ways to pay

VISA   BANK  VENMO

## Note to customer

removed 10 - 20lbs - 30lbs hogs from 268 Lake Bridge Rd

[View and pay](#)

**RECEIVED**

**By Tara Lee at 6:12 am, Jan 02, 2026**



**Bannon Lakes**  
**COMMUNITY DEVELOPMENT DISTRICT**

*General Fund*

**Check Request**

| Date            | Amount       | Authorized By |
|-----------------|--------------|---------------|
| January 9, 2026 | \$129,068.87 | Sheryl Fulks  |

Payable to:

|   |
|---|
| Bannon Lakes CDD c/o BNY Mellon #37 DS 2016 |
|---|

Date Check Needed:

Budget Category:

|      |                   |
|------|-------------------|
| ASAP | 1-300-20700-10200 |
|------|-------------------|

Intended Use of Funds Requested:

|                         |            |
|-------------------------|------------|
|                         |            |
| 11/4/25 SJC TAX DIST 1  | 3,670.91   |
| 11/20/25 SJC TAX DIST 2 | 14,320.13  |
| 11/24/25 SJC TAX DIST 3 | 25,101.69  |
| 12/17/25 SJC TAX DIST 4 | 46,126.32  |
| 12/24/25 SJC TAX DIST 5 | 39,849.82  |
|                         |            |
|                         |            |
|                         |            |
|                         |            |
|                         |            |
|                         |            |
|                         |            |
|                         |            |
|                         | 129,068.87 |
|                         |            |

*(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)*



**Bannon Lakes**  
**COMMUNITY DEVELOPMENT DISTRICT**

*General Fund*

**Check Request**

| Date            | Amount      | Authorized By |
|-----------------|-------------|---------------|
| January 9, 2026 | \$90,579.21 | Sheryl Fulks  |

Payable to:

|  |
|--|
| Bannon Lakes CDD c/o BNY Mellon #113 DS 2022 |
|--|

Date Check Needed:

Budget Category:

|      |                   |
|------|-------------------|
| ASAP | 1-300-20700-10400 |
|------|-------------------|

Intended Use of Funds Requested:

|  |              |
|--|--------------|
|  |              |
| 11/4/25 SJC TAX DIST 1                         | \$ 2,576.21  |
| 11/20/25 SJC TAX DIST 2                        | \$ 10,049.72 |
| 11/24/25 SJC TAX DIST 3                        | 17,616.11    |
| 12/17/25 SJC TAX DIST 4                        | 32,370.98    |
| 12/24/25 SJC TAX DIST 5                        | 27,966.19    |
|  |              |
|  |              |
|  |              |
|  |              |
|  |              |
|  |              |
|  |              |
|  | 90,579.21    |
|  |              |
| (Attach supporting documentation for request.) |              |

**Bannon Lakes Community Development District  
FY26 Assessment Receipts**

| ASSESSED TO       | # Units | SERIES 2016<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2021<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2022<br>DEBT<br>SERVICE<br>ASMNT | O&M<br>ASMNT | TOTAL<br>ASMTS |
|-------------------|---------|---|---|---|--------------|----------------|
| TAX ROLL ASSESSED | 986     | 738,484.29                              | 416,052.05                              | 518,260.67                              | 1,089,786.08 | 2,762,583.09   |

| DUE / RECEIVED    | BALANCE DUE  | SERIES 2016<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2021<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2022<br>DEBT<br>SERVICE<br>RECEIVED | O&M<br>RECEIVED | TOTAL<br>RECEIVED |
|-------------------|--------------|--|--|--|-----------------|-------------------|
| TAX ROLL RECEIPTS | 2,279,751.66 | 129,068.89                                 | 72,715.65                                  | 90,679.21                                  | 190,467.80      | 482,831.53        |

## TAX ROLL RECEIPTS

[illegible]

|                            |        |        |        |        |        |
|----------------------------|--------|--------|--------|--------|--------|
| PERCENT COLLECTED TAX ROLL | 17.48% | 17.48% | 17.48% | 17.48% | 17.48% |
|----------------------------|--------|--------|--------|--------|--------|

475 West Town Place, Suite 114  
St. Augustine, FL 32092

# Invoice

**Invoice #:** 141**Invoice Date:** 1/1/26

**Due Date:** 1/1/26

**Case:**

**P.O. Number:**

**Bill To:**

Bannon Lakes CDD  
475 West Town Place  
Suite 114  
St. Augustine, FL

| Description                                | Hours/Qty | Rate     | Amount   |
|--|-----------|----------|----------|
| Management Fees - January 2026             |           | 4,831.17 | 4,831.17 |
| Website Administration - January 2026      |           | 117.92   | 117.92   |
| Information Technology - January 2026      |           | 176.92   | 176.92   |
| Dissemination Agent Services -January 2026 |           | 835.75   | 835.75   |
| Office Supplies                            |           | 0.57     | 0.57     |
| Postage                                    |           | 197.84   | 197.84   |
| Copies                                     |           | 31.05    | 31.05    |
| Telephone                                  |           | 23.78    | 23.78    |

|              |                   |
|--------------|-------------------|
| <b>Total</b> | <b>\$6,215.00</b> |
|--------------|-------------------|

|                         |               |
|-------------------------|---------------|
| <b>Payments/Credits</b> | <b>\$0.00</b> |
|-------------------------|---------------|

|                    |                   |
|--------------------|-------------------|
| <b>Balance Due</b> | <b>\$6,215.00</b> |
|--------------------|-------------------|

**RECEIVED**

**By Tara Lee at 11:24 am, Jan 07, 2026**



35 Enterprise Drive  
Bunnell, FL 32110

# INVOICE

Invoice Batch Number 1348  
Invoice Date 12/31/25  
Payment Terms Net 30  
PO Number  
Sales Rep David Jackson

## Bill To

Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

Approved 1/8/26  
Jeff Johnson  
Irrigation Repairs  
1.330.53800.46400

| Description  | Qty / UOM | Rate    | Ext. Price | Amount |
|--|-----------|---------|------------|--------|
| <b>Service Location: Bannon Lakes CDD</b>  |           |         |            |        |
| Irrigation system repairs.   |           |         |            |        |
| 11/02/2025 12:28 PM  |           |         |            |        |
| Scott Martin   |           |         |            |        |
| SUNDAY EMERGENCY CALL  |           |         |            |        |
| Irrigation Maintenance #1 Work ticket #10557 # -                                   |           |         |            |        |
| 11/02/2025 12:00 PM  |           |         |            |        |
| Scott Martin   |           |         |            |        |
| Shut off stuck valve Duran drive   |           |         |            |        |
| Irrigation Maintenance #1 Work ticket #10557 # -                                   |           |         |            |        |
| Billable Irrigation - 11/02/2025   |           |         |            |        |
| Labor - 11/02/25   | 1.35 Hrs  | \$65.00 | \$87.75    |        |
| Irrigation system repairs.   |           |         |            |        |
| 11/03/2025 8:39 AM   |           |         |            |        |
| Scott Martin   |           |         |            |        |
| Purged valve, and replaced DBYs from solenoid to decoder valve operating correctly |           |         |            |        |
| Irrigation Maintenance #1 Work ticket #10558 # -                                   |           |         |            |        |
| 11/03/2025 7:43 AM   |           |         |            |        |
| Scott Martin   |           |         |            |        |
| Repair valve Duran drive   |           |         |            |        |
| Irrigation Maintenance #1 Work ticket #10558 # -                                   |           |         |            |        |
| Billable Irrigation - 11/03/2025   |           |         |            |        |
| Labor - 11/03/25   | 1.31 Hrs  | \$45.00 | \$58.95    |        |
| Pro-Trade DBR/Y-600 Red/Yellow Gorilla Nut 2 Pack (Material)                       | 2.00 BG   | \$7.49  | \$14.98    |        |
| Irrigation system repairs.   |           |         |            |        |
| 11/05/2025 7:32 AM   |           |         |            |        |
| Scott Martin   |           |         |            |        |
| Replaced a spray head and nozzle on blvd called in by Jeff, property manager       |           |         |            |        |

|   |      |     |         |         |
|---|------|-----|---------|---------|
| Irrigation Maintenance #1 Work ticket #10602 # -  |      |     |         |         |
| Billable Irrigation - 11/05/2025  |      |     |         |         |
| Labor - 11/05/25  | 0.98 | Hrs | \$45.00 | \$44.10 |
| Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)                               | 1.00 | ea  | \$5.14  | \$5.14  |
| Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)         | 1.00 | ea  | \$8.11  | \$8.11  |
| Irrigation system repairs.  |      |     |         |         |
| 11/11/2025 2:58 PM Scott Martin   |      |     |         |         |
| Existing rain sensor was not operating (click button not functioning)                             |      |     |         |         |
| Irrigation Maintenance #1 Work ticket #10849 # -  |      |     |         |         |
| 11/11/2025 2:53 PM Scott Martin   |      |     |         |         |
| Replaced rain sensor and moved new one from out under the tree branches                           |      |     |         |         |
| Irrigation Maintenance #1 Work ticket #10849 # -  |      |     |         |         |
| Billable Irrigation - 11/11/2025  |      |     |         |         |
| Labor - 11/11/25  | 2.13 | Hrs | \$45.00 | \$95.85 |
| Sch 40 PVC Male Adapter 1/2 in. MIPT x Socket (Material)  | 1.00 | ea  | \$0.48  | \$0.48  |
| Hunter Rain Sensor Wired Adjustable 1/8 - 3/4 in. Rainfall (Material)                             | 1.00 | ea  | \$33.75 | \$33.75 |
| PVC Purple Reclaimed Pipe 1/2 in. x 20 ft. SDR-13.5 (CL 315) Bell End (Priced per ft.) (Material) | 2.00 | FT  | \$0.27  | \$0.53  |
| Irrigation system repairs.  |      |     |         |         |
| 11/13/2025 2:36 PM Scott Martin   |      |     |         |         |
| Replaced 1 head & 1 nozzle zone 50, 2 heads & 3 nozzles on zone 41                                |      |     |         |         |
| Irrigation Maintenance #1 Work ticket #10889 # -  |      |     |         |         |
| 11/13/2025 1:43 PM Scott Martin   |      |     |         |         |
| Replaced broken heads   |      |     |         |         |
| Irrigation Maintenance #1 Work ticket #10889 # -  |      |     |         |         |
| Billable Irrigation - 11/13/2025  |      |     |         |         |
| Labor - 11/13/25  | 1.41 | Hrs | \$45.00 | \$63.45 |
| Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)                               | 3.00 | ea  | \$5.14  | \$15.41 |
| Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)         | 4.00 | ea  | \$8.11  | \$32.42 |
| Irrigation system repairs.  |      |     |         |         |

|  |       |     |          |          |
|--|-------|-----|----------|----------|
| 11/14/2025 1:58 PM Scott Martin  |       |     |          |          |
| Replaced decoder flower zone   |       |     |          |          |
| Irrigation Maintenance #1 Work ticket #10909 # -                                     |       |     |          |          |
| 11/14/2025 1:25 PM Scott Martin  |       |     |          |          |
| Irrigation repairs Amenity Center  |       |     |          |          |
| Irrigation Maintenance #1 Work ticket #10909 # -<br>Billable Irrigation - 11/14/2025 |       |     |          |          |
| Labor - 11/14/25   | 1.77  | Hrs | \$45.00  | \$79.65  |
| Irrigation system repairs.   |       |     |          |          |
| 11/17/2025 10:02 AM Scott Martin   |       |     |          |          |
| Completed irrigation repairs @ amenity center  |       |     |          |          |
| Irrigation Maintenance #1 Work ticket #10916 # -<br>Billable Irrigation - 11/17/2025 |       |     |          |          |
| Labor - 11/17/25   | 2.54  | Hrs | \$45.00  | \$114.30 |
| Hunter AC Solenoid Assembly 24 VAC (Material)  | 1.00  | ea  | \$16.32  | \$16.32  |
| Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)                  | 3.00  | ea  | \$5.14   | \$15.41  |
| Rain Bird Field Decoder 1 Station Solenoid Not Included (Material)                   | 1.00  | ea  | \$236.99 | \$236.99 |
| Hunter MP Rotator MP1000 Nozzle 8 ft. - 15 ft. 90 Degree - 210 Degree (Material)     | 4.00  | ea  | \$8.11   | \$32.42  |
| Rain Bird 5004 Part-Circle Non-Potable Rotor 4 in. Riser (Material)                  | 1.00  | ea  | \$17.89  | \$17.89  |
| Rain Bird U-Series Nozzle Half Circle 12 ft. 180 Degree (Material)                   | 1.00  | ea  | \$2.63   | \$2.63   |
| Irrigation system repairs.   |       |     |          |          |
| 11/18/2025 1:35 PM Scott Martin  |       |     |          |          |
| Irrigation repairs completed   |       |     |          |          |
| Irrigation Maintenance #1 Work ticket #10937 # -                                     |       |     |          |          |
| 11/18/2025 7:30 AM Scott Martin  |       |     |          |          |
| Bannon Lakes Blvd. Irrigation repairs  |       |     |          |          |
| Irrigation Maintenance #1 Work ticket #10937 # -<br>Billable Irrigation - 11/18/2025 |       |     |          |          |
| Labor - 11/18/25   | 13.62 | Hrs | \$45.00  | \$612.90 |
| Sch 40 PVC Cap 1/2 in. Socket (Material)   | 2.00  | ea  | \$0.48   | \$0.95   |



|  |       |     |         |          |
|--|-------|-----|---------|----------|
| Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)                                      | 35.00 | ea  | \$5.14  | \$179.83 |
| Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 210 Degree - 270 Degree (Material)                       | 10.00 | ea  | \$8.11  | \$81.06  |
| Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)                | 33.00 | ea  | \$8.11  | \$267.50 |
| Rain Bird 5004 Part-Circle Non-Potable Rotor 4 in. Riser (Material)                                      | 4.00  | ea  | \$17.89 | \$71.57  |
| Irrigation system repairs.   |       |     |         |          |
| 11/18/2025 7:30 AM Justin VanPatten  |       |     |         |          |
| Working with Scott to make repairs on the boulevard. All parts and materials on Scott's aspire ticket.   |       |     |         |          |
| Irrigation Maintenance #2 Work ticket #10936 # - Billable Irrigation - 11/18/2025                        |       |     |         |          |
| Irrigation system repairs.   |       |     |         |          |
| 11/21/2025 12:45 PM  |       |     |         |          |
| Scott Martin   |       |     |         |          |
| Repaired irrigation break broken by maintenance man (Tim) installing dog waste disposals 1" lateral line |       |     |         |          |
| Irrigation Maintenance #1 Work ticket #10976 # - Billable Irrigation - 11/21/2025                        |       |     |         |          |
| Labor - 11/21/25   | 4.07  | Hrs | \$45.00 | \$183.15 |
| Sch 40 PVC Coupling 1-1/4 in. Socket (Material)  | 1.00  | ea  | \$1.13  | \$1.13   |
| Sch 40 PVC Reducer Bushing Flush Style 1-1/4 in. x 1 in. Spigot x FIPT (Material)                        | 2.00  | ea  | \$1.93  | \$3.86   |
| NDS Pro-Span PVC Expansion Repair Coupling 1-1/4 in. Socket x Spigot (Material)                          | 1.00  | ea  | \$20.37 | \$20.37  |
| Sch 40 PVC 90 Degree Elbow 1/2 in. Socket x FIPT (Material)  | 2.00  | ea  | \$0.64  | \$1.29   |
| PVC Purple Reclaimed Pipe 1 in. x 20 ft. SDR-21 (CL 200) Bell End (Priced per ft.) (Material)            | 1.00  | FT  | \$0.32  | \$0.32   |
| PVC Purple Reclaimed Pipe 1/2 in. x 20 ft. SDR-13.5 (CL 315) Bell End (Priced per ft.) (Material)        | 1.00  | FT  | \$0.27  | \$0.27   |
| Sch 40 PVC Reducing Tee 2 in. x 1/2 in. Socket (Material)  | 1.00  | ea  | \$3.63  | \$3.63   |
| KF Black IPS Flex Pipe PVC 1/2 in. x 100 ft. (Sold per ft.) (Material)                                   | 1.00  | FT  | \$0.98  | \$0.98   |
| Irrigation system repairs.   |       |     |         |          |
| Irrigation Maintenance #1   November 26, 2025  |       |     |         |          |
| Raised sprinkler heads in the flowers and changed nozzles  |       |     |         |          |
| Scott Martin 11/26/2025 12:26 PM   |       |     |         |          |
| Work ticket #11033 # - Billable Irrigation - 11/26/2025  |       |     |         |          |

|  |      |     |         |          |                   |
|--|------|-----|---------|----------|-------------------|
| Labor - 11/26/25   | 2.36 | Hrs | \$45.00 | \$106.20 |                   |
| Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 210 Degree - 270 Degree (Material) | 1.00 | ea  | \$8.11  | \$8.11   |                   |
| Rain Bird 1800 Spray Riser Extension 6 in. (Material)                              | 8.00 | ea  | \$4.40  | \$35.17  |                   |
| Rain Bird U-Series Nozzle 12 ft. Radius Quarter Circle 12 ft. 90 Degree (Material) | 3.00 | ea  | \$2.63  | \$7.90   |                   |
| Rain Bird U-Series Nozzle Half Circle 12 ft. 180 Degree (Material)                 | 1.00 | ea  | \$2.63  | \$2.63   |                   |
| <b>Total for Bannan Lakes CDD</b>  |      |     |         |          | <b>\$2,761.00</b> |

|                   |            |
|-------------------|------------|
| Invoice Subtotal: | \$2,761.00 |
| Sales Tax:        | \$0.00     |
| Invoice Total:    | \$2,761.00 |
| Credits/Payments: | \$0.00     |
| Balance Due:      | \$2,761.00 |

**RECEIVED**

**By Tara Lee at 2:18 pm, Jan 08, 2026**



35 Enterprise Drive  
Bunnell, FL 32110

# INVOICE

Invoice Number 1330  
Invoice Date 01/02/26  
Payment Terms Net 30  
PO Number  
Sales Rep David Jackson

## Bill To

Bannon Lakes CDD  
Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

## Property Address

Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

| Description  | Qty / UOM | Rate | Ext. Price | Amount      |
|--|-----------|------|------------|-------------|
| #376 - Landscape Maintenance 2025 January 2026   |           |      |            | \$15,743.00 |
| <p>Approved 1/2/26<br/>Jeff Johnson<br/>Landscape Maintenance<br/>1.330.53800.46200</p> <div> <b>RECEIVED</b><br/> By Tara Lee at 1:08 pm, Jan 02, 2026 </div> |           |      |            |             |
| Subtotal:  |           |      |            | \$15,743.00 |
| Sales Tax:   |           |      |            | \$0.00      |
| Invoice Total:   |           |      |            | \$15,743.00 |
| Credits/Payments:  |           |      |            | (\$0.00)    |
| Balance Due:   |           |      |            | \$15,743.00 |

| Current     | 1-30 Days<br>Past Due | 31-60 Days<br>Past Due | 61-90 Days<br>Past Due | 90+ Days<br>Past Due |
|-------------|-----------------------|------------------------|------------------------|----------------------|
| \$16,598.00 | \$19,373.54           | \$0.00                 | \$0.00                 | \$0.00               |



35 Enterprise Drive  
Bunnell, FL 32110

# INVOICE

Invoice Number 1347  
Invoice Date 01/07/26  
Payment Terms Net 30  
PO Number  
Sales Rep David Jackson

## Bill To

Bannon Lakes CDD  
Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

## Property Address

Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

| Description  | Qty / UOM | Rate | Ext. Price | Amount  |
|--|-----------|------|------------|---------|
| Supply St. Augustine sod to repair drain installation.<br>Installation by others.<br>Misc Enhancement - 01/07/2026 |           |      |            | \$97.00 |
| Approved 1/7/26<br>Jeff Johnson<br>Landscape Contingency<br>1.330.57200.46210                                      |           |      |            |         |

**RECEIVED**

**By Tara Lee at 3:50 pm, Jan 07, 2026**

|                   |          |
|-------------------|----------|
| Subtotal:         | \$97.00  |
| Sales Tax:        | \$0.00   |
| Invoice Total:    | \$97.00  |
| Credits/Payments: | (\$0.00) |
| Balance Due:      | \$97.00  |

| Current     | 1-30 Days<br>Past Due | 31-60 Days<br>Past Due | 61-90 Days<br>Past Due | 90+ Days<br>Past Due |
|-------------|-----------------------|------------------------|------------------------|----------------------|
| \$16,695.00 | \$0.00                | \$0.00                 | \$0.00                 | \$0.00               |

# INVOICE

## QUICK CATCH INC

12627 San Jose Blvd Suite 205  
Jacksonville, FL 32223

admin@quck-catch.com  
+1 (904) 859-6585  
www.quck-catch.com



### Bill to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

### Ship to

Bridge Bay at Bannon Lakes c/o Bannon  
Lakes CDD  
2695 Dobbs Road St. Augustine, FL 32086

### Invoice details

Invoice no.: 38513  
Terms: Net 14  
Invoice date: 01/06/2026  
Due date: 01/20/2026

**RECEIVED**

**By Tara Lee at 9:51 am, Jan 07, 2026**

| #  | Date | Product or service        | Description               | Qty | Rate     | Amount   |
|----|------|---------------------------|---------------------------|-----|----------|----------|
| 1. |      | Hog Removal Up to 100 lbs | Hog Removal Up to 100 lbs | 2   | \$150.00 | \$300.00 |

Total

**\$300.00**

### Ways to pay

VISA   BANK  VENMO

### Note to customer

2 150lb female hogs killed at 268 Lake bridge

[View and pay](#)

Approved 1/7/26  
Jeff Johnson  
Nuisance Animal Control  
1.320.57200.54510

475 West Town Place  
Suite 114  
St. Augustine, FL 32092

**Invoice #:** 276  
**Invoice Date:** 1/1/2026  
**Due Date:** 1/1/2026  
**Case:**  
**P.O. Number:**

Bannon Lakes CDD  
475 West Town Place  
Suite 114  
St. Augustine, FL 32092

Alison Moring  
1-7-26

|                    |                    |
|--------------------|--------------------|
| <b>Balance Due</b> | <b>\$10,851.86</b> |
|--------------------|--------------------|

**By Tara Lee at 12:33 pm, Jan 07, 2026**

**Riverside Management Services, Inc**  
475 West Town Place  
Suite 114  
St. Augustine, FL 32092

# Invoice

Invoice #: 277  
Invoice Date: 12/31/2025  
Due Date: 12/31/2025  
Case:  
P.O. Number:

**Bill To:**  
Bannon Lakes CDD  
475 West Town Place  
Suite 114  
St. Augustine, FL 32092

| Description   | Hours/Qty | Rate  | Amount |
|---|-----------|-------|--------|
| Special Events Assistant through December 2025<br>1.320.57200.49400 | 13.84     | 28.00 | 387.52 |
| Alison Mossing<br>1-7-26  |           |       |        |

**Total** \$387.52

**Payments/Credits** \$0.00

**Balance Due** \$387.52

**RECEIVED**  
By Tara Lee at 2:53 pm, Jan 07, 2026

**BANNON LAKES CDD**

**SPECIAL EVENT ASSISTANT INVOICE DETAIL**

| <u>Quantity</u> | <u>Description</u>                              | <u>Rate</u> | <u>Amount</u>    |
|-----------------|---|-------------|------------------|
| 13.84           | Special Event Assistant<br>Covers December 2025 | \$ 28.00    | \$ 387.52        |
|                 | TOTAL DUE:                                      |             | <u>\$ 387.52</u> |

Special Event Assistant 1.320.57200.49400



BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT  
SPECIAL EVENT ASSISTANT BILLABLE HOURS  
THROUGH DECEMBER 2025

| <u>Date</u> | <u>Hours</u> | <u>Employee</u> | <u>Description</u>                            |
|-------------|--------------|-----------------|---|
| 12/7/25     | 4.7          | L.H.            | Christmas Event - set up, assist and clean up |
| 12/7/25     | 4.82         | P.B.            | Christmas Event - set up, assist and clean up |
| 12/7/25     | 4.32         | T.W.            | Christmas Event - set up, assist and clean up |
| TOTAL       | <u>13.84</u> |                 |   |



**Since 1962**

**Please remit payment to:**

Thigpen Heating and Cooling, Inc.  
2801 Dawn Road, Jacksonville FL 32207  
Phone: 904-448-1962 Website: www.thigpenac.com  
License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0016921**

Invoice Date :10/29/2025

Install Date :06/26/2017

Service Order :042640

Page : 1 of 2

**Bill To :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL  
32095

**Serviced At :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL 32095

| Contact      | Telephone     | Call Type | Customer PO | Terms            |
|--------------|---------------|-----------|-------------|------------------|
| Jeff Johnson | (904)660-3669 | CSVC      |             | DUE UPON RECEIPT |

**Service Requested :**

Commercial Service. PAUL ONLY AT THIS LOCATION, EVEN FOR MAINT! CALL JEFF WHEN HEADING TO PROPERTY EVERY TIME. HE IS IN CHARGE OF FACILITIES. JEFF ON SITE UNTIL 2 TRANE UNIT /CONDENSER NOT WORKING \$199 + REPAIR PLEASE CALL OTW ANGIE

**Service Comments :**

10/06/2025. Found TRANE air handler running with no condenser. Got with technical support. For the the static pressure switch inside, the air handler had water in the tubing, causing it not to register. The fan was on cleared out. Tube system is running..

| Description          | Mfg Name                     | Model        | Serial No  |        |
|----------------------|------------------------------|--------------|------------|--------|
| Air Handler          | MISC                         | TWE090E300AA | 17033NJABA |        |
| Total Labor for Unit |                              |              |            | 0.00   |
| Qty                  | Description                  | Price        | Extended   |        |
| 1                    | Commercial Diagnostic        | 179.00       | 179.00     |        |
| 1                    | Commercial Environmental Fee | 20.00        | 20.00      |        |
| Total Parts for Unit |                              |              |            | 199.00 |

See Over < 2 >

# THIGPEN

## HEATING & COOLING, INC.

Since 1962

### Please remit payment to:

Thigpen Heating and Cooling, Inc.

2801 Dawn Road, Jacksonville FL 32207

Phone: 904-448-1962 Website: [www.thigpenac.com](http://www.thigpenac.com)

License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0016921**

Invoice Date :10/29/2025

Install Date :06/26/2017

Service Order :042640

Page : 2 of 2

Bill To : 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL  
32095

Serviced At : 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL 32095

| Contact      | Telephone     | Call Type | Customer PO | Terms            |
|--------------|---------------|-----------|-------------|------------------|
| Jeff Johnson | (904)660-3669 | CSVC      |             | DUE UPON RECEIPT |

Approved 1/8/26  
Jeff Johnson  
Repairs and Maintenance  
1.320.57200.60000

### PLEASE REMIT TO:

Thigpen Heating & Cooling, Inc

2801 Dawn Road  
Jacksonville, FL 32207

|              |            |
|--------------|------------|
| Materials:   | 199.00     |
| Misc:        | 0.00       |
| Trip Charge: | 0.00       |
| Labor:       | 0.00       |
| Subtotal:    | 199.00     |
| Sales Tax:   | 0.00       |
| Total:       | 199.00 USD |
| Balance Due: | 199.00 USD |

**RECEIVED**

By Tara Lee at 8:10 am, Jan 09, 2026

# THIGPEN

## HEATING & COOLING, INC.

Since 1962

### Please remit payment to:

Thigpen Heating and Cooling, Inc.

2801 Dawn Road, Jacksonville FL 32207

Phone: 904-448-1962 Website: www.thigpenac.com

License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0018640**

Invoice Date :01/07/2026

Install Date :06/26/2017

Service Order :039946

Page : 1 of 2

Serviced At : 122663

Bannon Lakes Amenity Center

435 Bannon Lakes Blvd

Saint Augustine, FL 32095

Bill To : 122663

Bannon Lakes Amenity Center

435 Bannon Lakes Blvd

Saint Augustine, FL

32095

| Contact  | Telephone                                      | Call Type          | Customer PO | Terms            |
|--|--|--------------------|-------------|------------------|
| Jeff Johnson   | (904)660-3669                                  | CSVC               |             | DUE UPON RECEIPT |
| <b>Service Requested :</b><br>Tech to complete blower wheel pull and clean<br><b>Service Comments :</b><br>Did a pull and clean on blower wheel on TRANE M/N TWE090E300AA. S/N 17033NJABA. Found needs a new E-heat straps M/N BAYHTRL325AB. |  |                    |             |                  |
| Description  | Mfg Name                                       | Model              | Serial No   |                  |
| Condenser  | MISC   | TTA090H300AA       | 16512L83YA  |                  |
| Description  | Mfg Name                                       | Model              | Serial No   |                  |
| Air Handler  | MISC   | TWE090E300AA       | 17033NJABA  |                  |
| Qty Item   | Description                                    | Price              | Extended    |                  |
| 1 *  | CLEAN BLOWER WHEEL 18-24IN DIAMETER<br>REMOVED | 568.98             | 568.98      |                  |
| Total Parts for Unit   |  |                    | 568.98      |                  |
| Description  | Mfg Name                                       | Model              | Serial No   |                  |
| Condenser  | MISC   | 14HPX036-230-21    | 1917B03797  |                  |
| Description  | Mfg Name                                       | Model              | Serial No   |                  |
| Air Handler  | MISC   | CBX25UH-036-230-10 | 1717B34977  |                  |
| Description  | Mfg Name                                       | Model              | Serial No   |                  |
| Air Handler  | LENNOX   | CBX25UH-048-230-10 | 1717B16907  |                  |

See Over < 2 >

# THIGPEN

## HEATING & COOLING, INC.

Since 1962

### Please remit payment to:

Thigpen Heating and Cooling, Inc.  
2801 Dawn Road, Jacksonville FL 32207  
Phone: 904-448-1962 Website: www.thigpenac.com  
License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0018640**

|  |
|--|
| <b>Bill To :</b> 122663  |
| Bannon Lakes Amenity Center<br>435 Bannon Lakes Blvd<br>Saint Augustine, FL<br>32095 |

|   |                                  |
|---|----------------------------------|
| <b>Invoice Date :</b> 01/07/2026  | <b>Install Date :</b> 06/26/2017 |
| <b>Service Order :</b> 039946   | <b>Page :</b> 2 of 2             |
| <b>Serviced At :</b> 122663   |                                  |
| Bannon Lakes Amenity Center<br>435 Bannon Lakes Blvd<br>Saint Augustine, FL 32095 |                                  |

| Contact      | Telephone     | Call Type | Customer PO | Terms            |
|--------------|---------------|-----------|-------------|------------------|
| Jeff Johnson | (904)660-3669 | CSVC      |             | DUE UPON RECEIPT |

| Description   | Mfg Name | Model            | Serial No  |
|---|----------|------------------|------------|
| Heat Pump   | LENNOX   | 14HPX-048-230-21 | 1917B06555 |
| Total Labor for Unit  |          |                  | 0.00       |
| <p>Approved 1/8/26<br/>Jeff Johnson<br/>Repairs and Maintenance<br/>1.320.57200.60000</p> |          |                  |            |

|   |
|---|
| <b>PLEASE REMIT TO:</b>                   |
| <b>Thigpen Heating &amp; Cooling, Inc</b> |
| 2801 Dawn Road<br>Jacksonville, FL 32207  |

|                     |            |
|---------------------|------------|
| <b>Materials:</b>   | 568.98     |
| <b>Misc:</b>        | 0.00       |
| <b>Trip Charge:</b> | 0.00       |
| <b>Labor:</b>       | 0.00       |
| <b>Subtotal:</b>    | 568.98     |
| <b>Sales Tax:</b>   | 0.00       |
| <b>Total:</b>       | 568.98 USD |
| <b>Balance Due:</b> | 568.98 USD |

*(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)*

*(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)*

**General Fund**

| Date             | Amount       | Authorized By |
|------------------|--------------|---------------|
| January 20, 2026 | \$322,547.01 | Sheryl Fulks  |

Bannon Lakes CDD c/o BNY Mellon #113 DS 2022

|      |                   |
|------|-------------------|
| ASAP | 1-300-20700-10400 |
|------|-------------------|

[illegible]



## Bannon Lakes Community Development District FY26 Assessment Receipts

| ASSESSED TO       | # Units | SERIES 2016<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2021<br>DEBT<br>SERVICE<br>ASMNT | SERIES 2022<br>DEBT<br>SERVICE<br>ASMNT | O&M<br>ASMNT | TOTAL<br>ASMNTS |
|-------------------|---------|---|---|---|--------------|-----------------|
| TAX ROLL ASSESSED | 986     | 738,484.29                              | 416,052.05                              | 518,260.67                              | 1,089,786.08 | 2,762,583.09    |

| DUE / RECEIVED    | BALANCE DUE | SERIES 2016<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2021<br>DEBT<br>SERVICE<br>RECEIVED | SERIES 2022<br>DEBT<br>SERVICE<br>RECEIVED | O&M<br>RECEIVED | TOTAL<br>RECEIVED |
|-------------------|-------------|--|--|--|-----------------|-------------------|
| TAX ROLL RECEIPTS | 560,418.11  | 588,875.24                                 | 331,651.65                                 | 413,126.22                                 | 868,711.90      | 2,202,164.98      |

### TAX ROLL RECEIPTS

[illegible]

|                            |        |        |        |        |        |
|----------------------------|--------|--------|--------|--------|--------|
| PERCENT COLLECTED TAX ROLL | 79.71% | 79.71% | 79.71% | 79.71% | 79.71% |
|----------------------------|--------|--------|--------|--------|--------|



# INVOICE

For: BANNON LAKES COMMUNITY DEVELOPMENT  
DISTRICT  
475 WEST TOWN PLACE, SUITE 114  
WORLD GOLF VILLAGE  
ST. AUGUSTINE, FL 32092  
United States

From: The Bank of New York Mellon Trust Company, National  
Association  
333 South Hope Street  
Los Angeles, CA, 90071  
United States

Invoice Number: 00252-26-0096304  
Invoice Date: Jan 12, 2026  
Due Date: Feb 11, 2026  
Account Number: 0687100306-INV  
Cycle Date: Jan 29, 2026  
Legacy Ref#: CT2011557  
Currency: USD

## INVOICE

Total Payable Amount: 6,400.00 USD

**RECEIVED**

**By Tara Lee at 10:01 am, Jan 20, 2026**

|                          |              |
|--------------------------|--------------|
| Current Period Subtotal: | 6,400.00 USD |
| Current Period Tax:      | 0.00 USD     |
| Current Period Total:    | 6,400.00 USD |
| Satisfied to Date:       | 0.00 USD     |
| Balance Due:             | 6,400.00 USD |

Terms: Payable upon receipt. Please reference the invoice and account number with your remittance.

Our Tax ID Number is 95-3571558. Please fax Taxpayer Certification requests to (732) 667-9576.

The Bank of New York Mellon Trust Company, N.A is located at 333 South Hope Street, Los Angeles, CA, 90071, United States.

Wire and ACH Payment Instructions:



Check Payment Instructions:  
The Bank of New York Mellon  
Corporate Trust Department  
P.O. Box 392013  
Pittsburgh, PA 15251-9013  
Please enclose billing stub.



Details for Bannan Lakes Community Development District, Special Assessment Bonds Series 2021

|  | Quantity | Rate     | Proration | Subtotal | Total (USD) |
|--|----------|----------|-----------|----------|-------------|
| Flat   |          |          |           |          |             |
| Construction Fund Administration Fee         |          |          |           |          | 2,000.00    |
| For the period: Jan 29, 2026 to Jan 28, 2027 |          |          |           |          |             |
| Flat Fee                                     |          | 2,000.00 |           | 2,000.00 |             |
| Trustee                                      |          |          |           |          |             |
| Annual Fee                                   |          |          |           |          | 4,400.00    |
| For the period: Jan 29, 2026 to Jan 28, 2027 |          |          |           |          |             |
| Flat Fee                                     |          | 4,400.00 |           | 4,400.00 |             |
| Total  |          |          |           |          | 6,400.00    |



## Billing Stub

BANNON LAKES COMMUNITY  
DEVELOPMENT DISTRICT

Invoice Number: 00252-26-0096304  
Account Number: 0687100306-INV  
Invoice Date: Jan 12, 2026  
Cycle Date: Jan 29, 2026



# INVOICE

For: **BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT**  
ATTN: JIM OLIVER 475 WEST TOWN PLACE, SUITE 114,  
WORLD GOLF VILLAGE  
ST. AUGUSTINE, FL 32092  
United States

From: **The Bank of New York Mellon Trust Company, National Association**  
333 South Hope Street  
Los Angeles, CA, 90071  
United States

Invoice Number: **00252-26-0096702**  
Invoice Date: **Jan 14, 2026**  
Due Date: **Feb 13, 2026**  
Account Number: **0608100813-INV**  
Cycle Date: **Jan 25, 2026**  
Legacy Ref#: **BANNON2016**  
Currency: **USD**

## INVOICE

Total Payable Amount: **4,400.00 USD**

|                          |                     |
|--------------------------|---------------------|
| Current Period Subtotal: | <b>4,400.00 USD</b> |
| Current Period Tax:      | <b>0.00 USD</b>     |
| Current Period Total:    | <b>4,400.00 USD</b> |
| Satisfied to Date:       | <b>0.00 USD</b>     |
| Balance Due:             | <b>4,400.00 USD</b> |

Terms: Payable upon receipt. Please reference the invoice and account number with your remittance.  
Our Tax ID Number is 95-3571558. Please fax Taxpayer Certification requests to (732) 667-9576.  
The Bank of New York Mellon Trust Company, N.A is located at 333 South Hope Street, Los Angeles, CA, 90071, United States.

### Wire and ACH Payment Instructions:



Check Payment Instructions:  
The Bank of New York Mellon  
Corporate Trust Department  
P.O. Box 392013  
Pittsburgh, PA 15251-9013  
Please enclose billing stub.

**RECEIVED**

**By Tara Lee at 10:02 am, Jan 15, 2026**



Details for BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2015

|  | Quantity | Rate     | Proration | Subtotal | Total (USD) |
|--|----------|----------|-----------|----------|-------------|
| Flat   |          |          |           |          |             |
| Administration Fee                           |          |          |           |          | 4,400.00    |
| For the period: Jan 25, 2026 to Jan 24, 2027 |          |          |           |          |             |
| Flat Fee                                     |          | 4,400.00 |           | 4,400.00 |             |
| Total  |          |          |           |          | 4,400.00    |



## Billing Stub

BANNON LAKES COMMUNITY  
DEVELOPMENT DISTRICT

Invoice Number: 00252-26-0096702  
Account Number: 0608100813-INV  
Invoice Date: Jan 14, 2026  
Cycle Date: Jan 25, 2026



35 Enterprise Drive  
Bunnell, FL 32110

# INVOICE

Invoice Batch Number 1361  
Invoice Date 12/31/25  
Payment Terms Net 30  
PO Number  
Sales Rep David Jackson

## Bill To

Bannon Lakes CDD  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

| Description   | Qty / UOM | Rate    | Ext. Price | Amount |
|---|-----------|---------|------------|--------|
| <b>Service Location: Bannon Lakes CDD</b>   |           |         |            |        |
| Irrigation system repairs.  |           |         |            |        |
| Irrigation Maintenance #1 December 15, 2025   |           |         |            |        |
| Irrigation repairs completed  |           |         |            |        |
| Scott Martin 12/15/2025 3:31 PM<br>Work ticket #11389 # -                                 |           |         |            |        |
| Irrigation Maintenance #1 December 15, 2025   |           |         |            |        |
| Scott Martin 12/15/2025 10:23 AM<br>Work ticket #11389 # -                                |           |         |            |        |
| Billable Irrigation - 12/15/2025  |           |         |            |        |
| Labor - 12/15/25  | 5.07 Hrs  | \$45.00 | \$228.15   |        |
| Rain Bird Nozzle Half Circle 15 ft. 180 Degree (Material)                                 | 1.00 ea   | \$1.26  | \$1.26     |        |
| Hunter PRO Nozzle 12 ft. Radius Half Circle 12 ft. 180 Degree (Material)                  | 1.00 ea   | \$1.16  | \$1.16     |        |
| Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)                       | 7.00 ea   | \$5.14  | \$35.97    |        |
| Rain Bird 1812 Spray Body Side Inlet 12 in. Pop Up (Material)                             | 1.00 ea   | \$13.37 | \$13.37    |        |
| HUNTER HDL DRIPLINE RECLAIMED 12 in. 0.9 GPH 250 ft. (Material)                           | 2.00 FT   | \$0.48  | \$0.95     |        |
| Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material) | 3.00 ea   | \$8.11  | \$24.32    |        |
| Sch 40 PVC Cap 1/2 in. FIPT (Material)  | 2.00 ea   | \$0.99  | \$1.99     |        |
| Rain Bird Nozzle Side Strip 15 ft. (Material)   | 1.00 ea   | \$1.33  | \$1.33     |        |
| Poly Insert Coupling 1/2 in. x 1/2 in. (Material)   | 5.00 ea   | \$1.19  | \$5.95     |        |
| Rain Bird U-Series Nozzle 12 ft. Radius Quarter Circle 12 ft. 90 Degree (Material)        | 7.00 ea   | \$2.63  | \$18.42    |        |
| Irrigation system repairs.  |           |         |            |        |



|   |      |     |         |          |
|---|------|-----|---------|----------|
| Irrigation Maintenance #1 December 16, 2025   |      |     |         |          |
| Additional repairs needed will add all parts on 12/17/25 Wednesday                        |      |     |         |          |
| Scott Martin 12/16/2025 3:34 PM   |      |     |         |          |
| Work ticket #11403 # -  |      |     |         |          |
| Irrigation Maintenance #1 December 16, 2025   |      |     |         |          |
| Scott Martin 12/16/2025 12:07 PM  |      |     |         |          |
| Work ticket #11403 # -  |      |     |         |          |
| Billable Irrigation - 12/16/2025  |      |     |         |          |
| Labor - 12/16/25  | 4.12 | Hrs | \$45.00 | \$185.40 |
| Irrigation system repairs.  |      |     |         |          |
| Irrigation Maintenance #1 December 17, 2025   |      |     |         |          |
| Scott Martin 12/17/2025 10:24 AM  |      |     |         |          |
| Work ticket #11412 # -  |      |     |         |          |
| Irrigation Maintenance #1 December 17, 2025   |      |     |         |          |
| Scott Martin 12/17/2025 8:16 AM   |      |     |         |          |
| Work ticket #11412 # -  |      |     |         |          |
| Billable Irrigation - 12/17/2025  |      |     |         |          |
| Labor - 12/17/25  | 3.40 | Hrs | \$45.00 | \$153.00 |
| Hunter AC Solenoid Assembly 24 VAC (Material)   | 2.00 | ea  | \$16.32 | \$32.65  |
| Rain Bird RD06 Non-Potable Spray Body NSI 6 in. Pop Up No Side Inlet (Material)           | 8.00 | ea  | \$4.48  | \$35.84  |
| Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 90 Degree - 210 Degree (Material)         | 9.00 | ea  | \$8.11  | \$72.95  |
| Rain Bird 5004 Rotor w/ 2.0 Nozzle Part-Circle 4 in. Riser (Material)                     | 1.00 | ea  | \$12.38 | \$12.38  |
| Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material) | 2.00 | ea  | \$8.11  | \$16.21  |
| Sch 40 PVC 90 Degree Reducing Elbow 3/4 in. x 1/2 in. Socket (Material)                   | 1.00 | ea  | \$1.05  | \$1.05   |
| Total for Bannon Lakes CDD  |      |     |         | \$842.35 |

Approved 1/15/26  
Jeff Johnson  
Irrigation Repairs  
1.330.53800.46400

|                   |          |
|-------------------|----------|
| Invoice Subtotal: | \$842.35 |
| Sales Tax:        | \$0.00   |
| Invoice Total:    | \$842.35 |
| Credits/Payments: | \$0.00   |
| Balance Due:      | \$842.35 |

**RECEIVED**

***By Tara Lee at 11:33 am, Jan 15, 2026***

Project Manager      Alex Acree

Matthews | **DCCM**

Engineering - Architecture - Planning - Surveying

Bannon Lakes CDD Government Management Services  
Bernadette Peregrino  
475 West Town Place  
St. Augustine, FL 32092

January 13, 2026

Invoice #                      194513

Project                      0000002619.0000              Bannon Lakes CDD

This invoice includes charges for tasks performed for your project, including:

- CDD Coordination
- Process Requisitions

Please call Alex Acree if you have any questions or concerns regarding your project.  
For billing inquiries, please contact our Accounting Department.

**Professional Services through December 31, 2025**

Phase                      0001                      Engineering Services

|                              | Hours | Rate   | Amount |               |
|------------------------------|-------|--------|--------|---------------|
| Vice President of Production | .50   | 290.00 | 145.00 |               |
| Project Coordinator 3        | .50   | 115.00 | 57.50  |               |
| Project Administrator        | .25   | 120.00 | 30.00  |               |
| <b>Total Labor</b>           |       |        |        | <b>232.50</b> |
| <b>Total Due:</b>            |       |        |        | <b>232.50</b> |

**Billed to Date**

|               | Current Due   | Prior Billed     | Billed to Date   |
|---------------|---------------|------------------|------------------|
| Labor         | 232.50        | 12,010.00        | 12,242.50        |
| <b>Totals</b> | <b>232.50</b> | <b>12,010.00</b> | <b>12,242.50</b> |

**RECEIVED**

**By Tara Lee at 11:37 am, Jan 14, 2026**

475 West Town Place  
Suite 114  
St. Augustine, FL 32092

# Invoice

**Invoice #:** 278  
**Invoice Date:** 1/13/2026  
**Due Date:** 1/13/2026  
**Case:**  
**P.O. Number:**

**Bill To:**

**Bannon Lakes CDD  
475 West Town Place  
Suite 114  
St. Augustine, FL 32092**

| Description   | Hours/Qty | Rate   | Amount   |
|---|-----------|--------|----------|
| Facility Maintenance December 1 - December 31, 2025   | 168       | 40.00  | 6,720.00 |
| Maintenance Supplies  |           | 116.61 | 116.61   |
| <p>Approved 1/14/26<br/> Jeff Johnson<br/> Facility Maintenance 1.320.57200.45100 \$3333.00<br/> Grounds Maintenance 1.330.53800.46100 \$1633.00<br/> Repairs and Maintenance 1.320.57200.60000 \$1870.61</p> <p><i>Alison Morsing</i><br/> 1-14-26</p> |           |        |          |

Approved 1/14/26

Jeff Johnson

|                      |          |        |     |           |
|----------------------|----------|--------|-----|-----------|
| Facility Maintenance | 1,320.57 | 200.45 | 100 | \$3333.00 |
|----------------------|----------|--------|-----|-----------|

|                     |                   |           |
|---------------------|-------------------|-----------|
| Grounds Maintenance | 1.330.53800.46100 | \$1633.00 |
|---------------------|-------------------|-----------|

|                         |          |        |      |           |
|-------------------------|----------|--------|------|-----------|
| Repairs and Maintenance | 1,320.57 | 200.60 | 0000 | \$1870.61 |
|-------------------------|----------|--------|------|-----------|

Alison Morsing  
1-14-26

|              |                   |
|--------------|-------------------|
| <b>Total</b> | <b>\$6,836.61</b> |
|--------------|-------------------|

|                         |               |
|-------------------------|---------------|
| <b>Payments/Credits</b> | <b>\$0.00</b> |
|-------------------------|---------------|

|                    |                   |
|--------------------|-------------------|
| <b>Balance Due</b> | <b>\$6,836.61</b> |
|--------------------|-------------------|

**RECEIVED**

**By Tara Lee at 3:21 pm, Jan 14, 2026**

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT  
MAINTENANCE BILLABLE HOURS  
FOR THE MONTH OF DECEMBER 2025**

| <u>Date</u> | <u>Hours</u> | <u>Employee</u> | <u>Description</u>   |
|-------------|--------------|-----------------|--|
| 12/1/25     | 8            | T.W.            | Tar removal from patio deck, checked fire extinguishers, reset fitness center and clubhouse, blew leaves and debris off pool deck, patio, walkways and courts, raked playground and cart park, straightened and organized pool deck and patio furniture, checked pool levels and chemicals, restocked fitness center and bathrooms, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles      |
| 12/2/25     | 8            | T.W.            | Continues with patio deck tar removal, checked pool levels and chemicals, restocked bathrooms and fitness center, straightened and organized pool deck and patio furniture, blew leaves and debris off walkways, courts, pool deck and patio, reset clubhouse and fitness center, removed debris around roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles  |
| 12/3/25     | 8            | T.W.            | Tennis court screens repaired, blew leaves and debris off pool deck, patio, walkways, courts and parking lot, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, cart maintenance, straightened and organized pool deck and patio furniture, removed debris from roadways and pond   |
| 12/4/25     | 8            | T.W.            | Removed roof tar from patio deck, blew leaves and debris off walkways, pool deck, patio and courts, reset clubhouse and fitness center, restocked pool and fitness center bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris around roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles   |
| 12/5/25     | 8            | T.W.            | Relocated street sign, straightened and organized pool deck and patio furniture, restocked bathrooms and fitness center, reset clubhouse and fitness center, checked pool water level and chemicals, blew leaves and debris off pool deck, patio, courts and walkways, raked playground and cart park, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles                                   |
| 12/8/25     | 8            | T.W.            | Lighting inspection on streets and grounds, fixed tennis court windscreens, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked pool water level and chemicals, blew leaves and debris off walkways, courts, pool deck and patio, raked playground and cart park, reset clubhouse and fitness center, restocked bathrooms, checked and changed trash receptacles, emptied and restocked dog waste receptacles |
| 12/9/25     | 8            | T.W.            | Removed tar from the walkways, blew leaves and debris off parking lot, courts, walkways, pool deck and patio, checked pool levels and chemicals, reset clubhouse and fitness center, checked and restocked supplies in fitness center and bathrooms, removed debris from pond and roadways, raked playground and cart park   |
| 12/10/25    | 8            | T.W.            | Painted patio deck ceiling fans, raked cart park and playground, blew leaves and debris off walkways, courts, pool deck and patio, reset clubhouse and fitness center, restocked bathrooms, checked pool water level and chemicals, removed debris from pond and roadways, checked   |

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT  
MAINTENANCE BILLABLE HOURS  
FOR THE MONTH OF DECEMBER 2025**

---

| <u>Date</u> | <u>Hours</u> | <u>Employee</u> | <u>Description</u>   |
|-------------|--------------|-----------------|--|
|             |              |                 | and changed trash receptacles, emptied and restocked dog waste receptacles   |
| 12/11/25    | 8            | T.W.            | Clubhouse walkway tar removal, straightened and organize pool deck and patio furniture, blew leaves and debris off courts, walkways, pool deck and patio, raked playground and cart park, checked pool water level and chemicals, reset clubhouse and fitness center, restocked fitness center and restrooms, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles                                    |
| 12/12/25    | 8            | T.W.            | Checked pool water levels and chemicals, reset clubhouse and fitness center, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles  |
| 12/15/25    | 8            | T.W.            | Wiped down wall and touched up painted walls, restocked bathrooms, blew leaves and debris off pool deck, patio, walkways and courts, raked playground and cart park, reset clubhouse and fitness center, checked pool water level and chemicals, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles   |
| 12/16/25    | 8            | T.W.            | Tar removed from walkways, set up clubhouse for meeting, reorganized work shop, raked playground and cart park, blew leaves and debris off walkways, courts, pool deck and patio, restocked bathrooms, checked water level and chemicals on pool, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles                                      |
| 12/17/25    | 8            | T.W.            | Fixed tennis court windscreens, reset clubhouse and fitness center, blew leaves and debris off walkways, courts, pool deck and patio, raked playground and cart park, checked pool water levels and chemicals, restocked bathrooms and fitness center, cart maintenance and clean up, straightened and organized pool deck and patio furniture, removed debris from ponds and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles |
| 12/18/25    | 8            | T.W.            | Roof tar removed from patio steps, blew leaves and debris off pool deck, patio, walkways and courts, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles                                |
| 12/19/25    | 8            | T.W.            | Removed tar from clubhouse steps and walkway, checked pool water levels and chemicals, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms and fitness center, reset clubhouse and fitness center, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris around pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles                 |

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT  
MAINTENANCE BILLABLE HOURS  
FOR THE MONTH OF DECEMBER 2025**

| <u>Date</u> | <u>Hours</u> | <u>Employee</u> | <u>Description</u>  |
|-------------|--------------|-----------------|---|
| 12/22/25    | 8            | T.W.            | Straightened and organized pool deck and patio furniture, blew leaves and debris off pool deck, patio, courts and walkways, raked playground and cart park, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles, reset fitness center and bathrooms, checked pool water levels and chemicals, cart maintenance, restocked bathrooms                                 |
| 12/23/25    | 8            | T.W.            | Checked pool water levels and chemicals, reset clubhouse and fitness center, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles   |
| 12/26/25    | 8            | T.W.            | Painted bike racks, blew leaves and debris off pool deck, parking lot, patio, walkways and courts, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles |
| 12/29/25    | 8            | T.W.            | Reset clubhouse and fitness center, checked pool water levels and chemicals, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles   |
| 12/30/25    | 8            | T.W.            | Rebuilt faucet in men's restroom pool bathroom, removed scale and lime from all faucets in the pool bathrooms, straightened and organized pool and patio furniture, raked cart park and playground, reset clubhouse and fitness center, restocked pool and fitness bathrooms, removed debris from roadways and pond, checked pool water level and chemicals, blew leaves and debris off courts and walkways                               |
| 12/31/25    | 8            | T.W.            | Court windscreen repaired, straightened and organized pool deck and patio furniture, blew leaves and debris off courts, walkways, pool deck and patio, reset clubhouse and fitness center, restocked bathrooms and fitness center, checked pool water level and chemicals, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles                                      |

TOTAL

168

MILES

0

\*Mileage is reimbursable per section 112.061 Florida Statutes Mileage Rate 2009-0.445

## Period Ending 1/05/26

| DISTRICT     | DATE     | SUPPLIES             | PRICE    | EMPLOYEE |
|--------------|----------|----------------------|----------|----------|
| BL           |          |                      |          |          |
| BANNON LAKES |          |                      |          |          |
|              | 12/17/25 | Earplugs             | 6.70     | J.J.     |
|              | 12/17/25 | Air Compressor Kit   | 23.23    | J.J.     |
|              | 12/17/25 | Loctite              | 12.83    | J.J.     |
|              | 12/17/25 | 2.0 Flat Paint Brush | 2.05     | J.J.     |
|              | 12/17/25 | 3.0 Flat Paint Brush | 2.53     | J.J.     |
|              | 12/17/25 | Paint                | 46.52    | J.J.     |
|              | 12/29/25 | WD-40                | 10.10    | J.J.     |
|              | 12/29/25 | Goo Gone             | 8.03     | J.J.     |
|              | 12/29/25 | Screws               | 1.69     | J.J.     |
|              | 12/29/25 | Electrical Tape      | 2.93     | J.J.     |
|              |          | TOTAL                | \$116.61 |          |



# THIGPEN

## HEATING & COOLING, INC.

Since 1962

### Please remit payment to:

Thigpen Heating and Cooling, Inc.  
2801 Dawn Road, Jacksonville FL 32207  
Phone: 904-448-1962 Website: www.thigpenac.com  
License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0018782**

Invoice Date :01/14/2026

Install Date :06/26/2017

Service Order :043820

Page : 1 of 2

**Bill To :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL  
32095

**Serviced At :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL 32095

| Contact      | Telephone     | Call Type | Customer PO | Terms            |
|--------------|---------------|-----------|-------------|------------------|
| Jeff Johnson | (904)660-3669 | CMNT      |             | DUE UPON RECEIPT |

#### Service Requested :

01/09- Paul to return to replace NEED TO BRING OUT A A48 BELT. Paul has belt. 108335  
po Commercial Maintenance Commercial Maintenance. PAUL ONLY AT THIS LOCATION, EVEN FOR MAINT! IF  
YOU SEND A HELPER, PAUL MUST BE THE FIRST ON SITE EVERY TIME!! CALL JEFF WHEN HEADING TO  
PROPERTY EVERY TIME. HE IS IN CHARGE OF FACILITIES. 1ST THING AM.

#### Service Comments :

Three system maintenance. Water cleaned evaporator coil, drain pan, drain lines flush with water and treated with  
powerzyme. Checked all electrical connections, capacitors. Checked E-heat, heat, cooling. Pressure in cooling. All three  
systems are running at this time. 01/09/2026. Replaced a58 drive belt on TRANE AIR HANDLER M/N  
TWE090E300. S/N 1733NJABA. System running at this time.

| Description | Mfg Name | Model              | Serial No  |
|-------------|----------|--------------------|------------|
| Condenser   | MISC     | TTA090H300AA       | 16512L83YA |
| Description | Mfg Name | Model              | Serial No  |
| Air Handler | MISC     | TWE090E300AA       | 17033NJABA |
| Description | Mfg Name | Model              | Serial No  |
| Condenser   | MISC     | 14HPX036-230-21    | 1917B03797 |
| Description | Mfg Name | Model              | Serial No  |
| Air Handler | MISC     | CBX25UH-036-230-10 | 1717B34977 |
| Description | Mfg Name | Model              | Serial No  |
| Air Handler | LENNOX   | CBX25UH-048-230-10 | 1717B16907 |

See Over < 2 >



**HEATING & COOLING, INC.**

**Since 1962**

**Please remit payment to:**

Thigpen Heating and Cooling, Inc.

2801 Dawn Road, Jacksonville FL 32207

Phone: 904-448-1962 Website: www.thigpenac.com

License # CACO56726 | CACO56729 | CN208226

**INVOICE : 0018782**

Invoice Date :01/14/2026

Install Date :06/26/2017

Service Order :043820

Page : 2 of 2

**Bill To :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL  
32095

**Serviced At :** 122663

Bannon Lakes Amenity Center  
435 Bannon Lakes Blvd  
Saint Augustine, FL 32095

| Contact      | Telephone     | Call Type | Customer PO | Terms            |
|--------------|---------------|-----------|-------------|------------------|
| Jeff Johnson | (904)660-3669 | CMNT      |             | DUE UPON RECEIPT |

| Description | Mfg Name | Model            | Serial No  |
|-------------|----------|------------------|------------|
| Heat Pump   | LENNOX   | 14HPX-048-230-21 | 1917B06555 |

| Qty                    | Description            | Price | Extended |
|------------------------|------------------------|-------|----------|
| 3                      | 16x25x1 Pleated Filter | 0.00  | 0.00     |
| 1                      | 18x20x1 Pleated Filter | 0.00  | 0.00     |
| 1                      | 18x24x1 Pleated Filter | 0.00  | 0.00     |
| Total Parts for Unit   |                        |       | 0.00     |
| Total Labor for Unit   |                        |       | 0.00     |
| Maintenance Contract : |                        |       | 449.00   |

Approved 1/15/26  
Jeff Johnson  
Repairs and Maintenance  
1.320.57200.60000

**RECEIVED**

**By Tara Lee at 8:53 am, Jan 15, 2026**

**PLEASE REMIT TO:**

**Thigpen Heating & Cooling, Inc**

2801 Dawn Road  
Jacksonville, FL 32207

|              |            |
|--------------|------------|
| Materials:   | 0.00       |
| Misc:        | 449.00     |
| Trip Charge: | 0.00       |
| Labor:       | 0.00       |
| Subtotal:    | 449.00     |
| Sales Tax:   | 0.00       |
| Total:       | 449.00 USD |
| Balance Due: | 449.00 USD |



# AMTEC

American Municipal Tax-Exempt Compliance

90 Avon Meadow Lane  
Avon, CT 06001  
(T) 860-321-7521  
(F) 860-321-7581

[www.amteccorp.com](http://www.amteccorp.com)

**Client:** Bannan Lakes Community Development District  
c/o Ms. Bernadette Peregrino  
District Accountant  
Governmental Management Services  
475 West Town Place  
Suite 114  
St. Augustine, FL 32092

**Invoice No.** 7937-01-26

**Date:** January 21, 2026

For Professional Services:

| Issue  | Service                    | Fee            |
|--|----------------------------|----------------|
| \$9,135,000 Bannan Lakes Community Development District (St. Johns County, Florida), Special Assessment Revenue Bonds, Series 2022<br>- (\$450/per Bond Year – 3 Bond Years) | Rebate Report<br>& Opinion | \$1,350        |
| <b>Total</b>   |                            | <b>\$1,350</b> |

**PLEASE UPDATE YOUR RECORDS TO REFLECT OUR NEW BANK / ACCOUNT NUMBER.**

**Please remit the total due to AMTEC (Tax ID: 06-1308917):**



# Invoice

|           |           |
|-----------|-----------|
| Date      | Invoice # |
| 1/20/2026 | BC01207   |

Ship To

Bannon Lakes  
435 Bannon Lakes Blvd.  
St. Augustine, FL 32095

**RECEIVED**  
By Tara Lee at 12:29 pm, Jan 27, 2026

|                             |  |                         |                 |
|-----------------------------|--|-------------------------|-----------------|
|                             |  | <b>Total</b>            | <b>\$320.00</b> |
|                             |  | <b>Payments/Credits</b> | <b>\$0.00</b>   |
|                             |  | <b>Balance Due</b>      | <b>\$320.00</b> |
| www.commfitnessproducts.com |  |                         |                 |

**FREEDOM  
PEST CONTROL**



3600 Peoria Rd. Ste 205 | Orange Park, FL 32065  
904-272-2847 | [info@freedompestcontrolfl.com](mailto:info@freedompestcontrolfl.com)

**Service Slip/Invoice**

**INVOICE:** 1220976  
**DATE:** 01/21/2026  
**ORDER:** 1220976

**BILL To:** [106210]  
Bannon Lakes CDD  
Bannon Lakes Resident's Club  
435 B Bannon Lakes Blvd  
St. Augustine, FL 32092

**Work Location:** [106210] 904-907-1100  
Bannon Lakes CDD  
Bannon Lakes Resident's Club  
435 B Bannon Lakes Blvd  
St. Augustine, FL 32092

| Work Date      | Time             | Target Pest  | Technician |              | Time In  |
|----------------|------------------|--------------|------------|--------------|----------|
| 01/21/2026     |                  |              | 2MARCUS    | Marcus Lopez | 02:16 PM |
| Purchase Order | Terms            | Last Service | Map Code   |              | Time Out |
|                | DUE UPON RECEIPT | 01/21/2026   |            | Lic:JE276424 | 04:04 PM |

| Service | Description          | Price                      |
|---------|----------------------|----------------------------|
| MONTHLY | Monthly Pest Control | \$160.00                   |
| RODENT  | Rodent Control       | \$100.00                   |
|         |                      | <b>SUBTOTAL</b> \$260.00   |
|         |                      | <b>TAX</b> \$0.00          |
|         |                      | <b>AMT. PAID</b> \$0.00    |
|         |                      | <b>TOTAL</b> \$260.00      |
|         |                      | <b>AMOUNT DUE</b> \$260.00 |

Approved 1/22/26  
Jeff Johnson  
Pest Control  
1.320.57200.54500

Balances outstanding over 30 days from the date of service may be subject to a late fee of the lesser of 1.5% per month (18% per year) or the maximum allowed by law.  
Customer agrees to pay accrued expenses in the event of collection.

I hereby acknowledge the satisfactory completion of all services rendered, and agree to pay the cost of services as specified above.

**PLEASE PAY FROM THIS INVOICE**