

Bannon Lakes
Community Development District

February 17, 2026

AGENDA

Bannon Lakes

Community Development District

475 West Town Place, Suite 114, St. Augustine, FL 32092

Phone: 904-940-5850 - Fax: 904-940-5899

February 10, 2026

Board of Supervisors
Bannon Lakes Community Development District

Dear Board Members:

The Bannon Lakes Community Development District Meeting is scheduled for **February 17, 2026 at 6:00 p.m.** at Bannon Lakes Amenity Center, 435 Bannon Lakes Boulevard, St. Augustine, Florida 32095.

Following is the advance agenda for this meeting:

- I. Call Order
- II. Public Comments
- III. Approval of Minutes of the January 20, 2026 Meeting
- IV. Discussion of:
 - A. Fitness Center Expansion
 - B. Painted Rock Project
 - C. Amenity Center Hours
 - D. Bike Rack at Southshore
 - E. Radar Speed Limit Signs
 - F. Crosswalk Installation
- V. Consideration of Proposals for Pickleball and Basketball Court Lighting
 - A. Lumark
 - B. PLP
 - C. Smith Electric
- VI. Consideration of Renewal with Lake Doctors for Water Management
- VII. Staff Reports
 - A. Attorney
 - B. Engineer

- C. District Manager
- D. General Manager – Report
- VIII. Audience Comments
- IX. Supervisor’s Requests
- X. Financial Reports
 - A. Balance Sheet and Statement of Revenues & Expenditures for the Period Ending January 1, 2026
 - B. Assessment Receipt Schedule
 - C. Approval of Check Register
- XI. Next Scheduled Meeting: March 17, 2026 at 6:00 p.m. at Bannon Lakes Amenity Center
- XII. Adjournment

THIRD ORDER OF BUSINESS

**MINUTES OF MEETING
BANNON LAKES
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Bannon Lakes Community Development District was held on Tuesday, **January 20, 2026**, at 6:00 p.m. at the Bannon Lakes Amenity Center, 435 Bannon Lakes Boulevard, St. Augustine, Florida 32095.

Present and constituting a quorum were:

Kim Crenier	Vice Chairperson
Sandy Gehring	Assistant Secretary
Thomas Cooper	Assistant Secretary
John Ter Louw	Assistant Secretary

Also present were:

Matt Biagetti	District Manager, GMS
Wes Haber <i>by phone</i>	District Counsel, Kutak Rock
Alex Acree	District Engineer
Jeff Johnson	RMS, Operations Manager
Emily Wright	RMS, Amenity Manager
Michael Lucas	Basham & Lucas
Sgt. Bobby Kukar	SJCSO

FIRST ORDER OF BUSINESS

Roll Call

Mr. Biagetti called the meeting to order at 6:00 p.m. Four Supervisors were in attendance in person constituting a quorum.

SECOND ORDER OF BUSINESS

Public Comments

Mr. Biagetti opened the public comment period for agenda items only and reminded speakers that comments were limited to three minutes, must relate to agenda items, and require the speaker's name and address for record.

Resident (Michael Manzione, 166 Sage Hen) requested consideration of installing a bike rack at the bus stop located at Beechnut and Ironside. Staff and the Board discussed whether the location was on CDD or HOA property and noted bike racks are typically the responsibility of the HOA unless located on CDD owned land.

Resident (Alyssa Chiodo, 36 Flintlock Lane) asked whether the HOA had been contacted regarding installation of a bike rack and noted that an existing rack was placed on the edge of CDD property as a temporary solution. Staff confirmed the matter had not yet been revisited with the HOA and stated it could be discussed further at a later time.

Resident (Charles Collins) raised safety concerns regarding the increased use of electric bikes and motorized scooters throughout the community, citing incidents involving unsafe riding behavior, lack of visibility, and potential risks to pedestrians and motorists. Staff explained that the CDD has limited authority to regulate or enforce e-bike usage on county roads and sidewalks, though enforcement can occur within the amenity center area. Staff noted ongoing coordination with the Sheriff's Office and parent outreach efforts. The Board acknowledged the recurring nature of the concern and noted that potential state and county legislative action is being monitored.

Additional residents echoed concerns regarding e-bike speed, lack of lighting, and ride behavior particularly during low-light conditions. The Board discussed a pending court case in Pinellas County that may establish precedent for age and speed restrictions on electric bikes, which could later be adopted locally.

Resident (Hayley, 597 Blind Oak) asked about the status of a potential change to amenity center operating hours. Staff confirmed the item was not on the current agenda but could be added to a future meeting, potentially in connection with upcoming discussions regarding basketball court lighting.

Resident (Duane Dockwell, 251 Rock Spring Loop) commented on manufacturer speed capabilities of e-bike exceeding posted neighborhood speed limits and expressed concern that regulation may only occur following a serious incident. Additional residents shared near-miss experiences involving scooters operating without lights.

THIRD ORDER OF BUSINESS

Approval of Minutes of the December 16, 2025 Meeting

Mr. Biagetti presented the minutes of the December 16, 2025 meeting, which were included in the agenda package. There were no changes.

On MOTION by Ms. Crenier, seconded by Mr. Ter Louw, with all in favor, the Minutes of the December 16, 2025 Meeting, were approved.

FOURTH ORDER OF BUSINESS**Discussion of Fitness Center Expansion**

Mr. Biagetti introduced the agenda item and noted that architect Michael Lucas was present. He reminded the Board that at the prior meeting the Board had selected Scheme B-3 and that the next step was to obtain a more reliable cost estimate based on preliminary drawings.

Mr. Lucas explained his intent was to prepare approximately a 30% drawing set, sufficient for a contractor to provide a meaningful cost estimate. He stated the contractor providing the estimate was the individual who managed construction of the existing facility (though not the original contracting firm), was familiar with the building, and could produce a more realistic figure than the earlier planning assumption of approximately \$30 per square foot. He clarified that preparing an estimate would not obligate the District to use that contractor for construction. He also noted additional mechanical and electrical information would be needed to support the estimate, including the anticipated loads.

The Board discussed the existing tree impacted by the extension and confirmed the tree would be relocated, removing it from the project's concern list. The Chair summarized that the earlier square-foot estimate implied a total construction cost in the range of approximately \$475,000 and confirmed that estimate did not include fitness equipment.

Staff explained the project would be funded from the District's construction fund account, currently with roughly \$900,000 available, and reiterated the project would not require an increase in CDD fees, a special assessment, or additional charges to residents. Staff stated the fund has been used a "wish list" account for community priorities, and that the fitness center expansion had been identified as the leading priority through resident survey results. Staff added that other projects (including beautification along Bannon Lakes Parkway) remained under consideration and that multiple projects could ultimately be completed, depending on costs and priorities.

Mr. Cooper referenced prior discussion that amenity lighting (basketball, tennis, and pickleball court lighting) could also be considered as part of the overall amenity enhancement effort using the same funding source.

Ms. Gehring provided an update from a recent meeting with Commercial Fitness regarding equipment needs and lifecycle. Staff reported the current equipment dates back to the facility's 2017 build and is now beyond the typical five-to-seven year lifespan for equipment in a community setting. Based on the vendor's guidance and community usage, Ms. Gehring outlined preliminary equipment recommendations: adding one treadmill (bringing the total to four), adding a Smith machine, increasing free weights with expansion up to 75 pounds, adding a recumbent bike, and adding a combination leg curl/leg extension machine. Ms. Gehring noted replacement of some existing equipment-particularly treadmills-may be prudent due to age and the cost/availability of parts. Staff stated equipment procurement could be handled either through direct purchase or through leasing/lease-to-own depending on total project cost and priorities. Staff also noted that Commercial Fitness would provide a written recommendation and assist with redesigning the equipment layout to improve traffic flow and efficiency, including confirming outlet and power needs for specific machines.

The Board discussed flooring, noting the existing floor has visible wear, separations, and trip hazards, and that replacing the flooring may be necessary to avoid having an expanded, updated facility adjacent to worn flooring. Mr. Lucas confirmed he would coordinate with the interior designer to propose flooring options appropriate for different uses (e.g., aerobics versus free weights) and that the Board would be presented with alternatives.

Ms. Gehring opened the floor for questions to Mr. Lucas.

Resident asked why the addition did not extend fully in height/width; Mr. Lucas explained the roofline was designed to match the existing ridge and maximum height while minimizing disruption to the recently completed roof and helping the addition appear integrated rather than appended.

Resident asked whether multiple bids would be obtained for construction. Staff clarified the current request was for preliminary drawings and a cost estimate; once drawings were completed and the Board chose to proceed, construction procurement would be determined and could include multiple bidders. Ms. Gehring also noted the architect had been selected previously through a competitive process and was chosen in part due to familiarity with the facility.

Resident raised concerns about the hallway/classroom arrangement and whether the classroom could become underutilized outside scheduled classes, and questioned how users would comfortably move equipment into the room. Staff responded that functional storage solutions (e.g.,

wall-mounted racks, storage for TRX bands and medicine balls) were available and could be incorporated to support broader use of the space when classes were not scheduled. Ms. Gehring confirmed the room would be available for community uses when not programmed and said the Board would consider equipment/storage configuration as part of the final layout and programming plan.

Resident asked about door types and whether sliding or barn-style doors could be used to reduce swing interference and improve circulation. Staff clarified the discussion largely related to storage/closet doors and noted prior interest in mirrored or alternative door solutions; Mr. Lucas stated door selection would depend on security and use requirements and that prior options had been discussed, including locating storage for acoustical considerations.

Following discussion, the Board moved to accept the selected design (Scheme B-3).

<p>On MOTION by Mr. Ter Louw, seconded by Mr. Cooper, with all in favor, the Proposal of Scheme B-3 for the layout of the Fitness Center Expansion, was approved.</p>

FIFTH ORDER OF BUSINESS

Consideration of Pedestrian Crossing Data Study

Mr. Biagetti introduced the agenda item on consideration of pedestrian crossing data and related traffic-calming options. Staff noted District, Engineer, Mr. Acree was present to discuss possible solutions, including speed radar signs, flashing crosswalk beacons, painted crosswalks, additional signage, stop signs, and speed bumps.

Mr. Acree explained the District had previously explored a four-way stop at the refenced intersection, but St. Johns County requires specific warrants to be met. He outlined that while major-street traffic volumes may be sufficient, the minor-street traffic volume threshold would not be met, and the intersection also did not meet the crash-history or sight-distance criteria. As a result, a four-way stop is unlikely to be approved.

Mr. Acree stated the County similarly requires a traffic study to support installation of a flashing pedestrian beacon (e.g., an RRFB) with a marked crossing, and the community is also unlikely to meet the required criteria for that approval. He summarized that any significant pedestrian improvement request on County roadways generally requires a traffic study, and even with a study, approval is unlikely if warrants are not satisfied.

The Chair asked whether a standard painted crosswalk could be installed elsewhere. Mr. Acree responded that a mid-block marked crossing may be more feasible, but County approval would still be required because it is a County road. He clarified that the traffic study requirement is primarily triggered by the flashing beacon component, not necessarily by striping alone, through any work within County right-of-way still requires County review and permitting.

Mr. Acree described speed-feedback radar signs as a viable alternative. He explained these signs would be owned and maintained by the District under an agreement with the County, would require right-of-way permitting, and would need identification indicating the sign is maintained by the CDD. He confirmed this option does not require a traffic study but does require a basic site plan for proposed locations and submission to County Public Works for a right-of-way permit. Mr. Acree stated that adding additional 25 mph speed limits would follow a similar right-of-way permitting process.

The Board discussed the limitations of enforcement, acknowledging speed-feedback signs are primarily an awareness tool. Mr. Acree noted most units are solar-powered and that existing street trees could limit placement or reduce solar effectiveness.

Ms. Gehring asked about timing for Pulte's final asphalt lift and whether striping or other roadway improvements would be premature prior to that work. Mr. Acree stated final asphalt lift is typically tied to completion thresholds (often a high percentage of home completion or a time trigger), and that Preserve area side streets have not yet been completed. The Board noted prior striping cost estimates were approximately \$30,000 and expressed concern that striping now could be lost when the top layer is milled and replaced.

The Board directed staff to bring back cost information for (1) flashing speed radar signs, including any right-of-way application and permitting costs, and (2) the cost to add painted crosswalk striping (included applicable permit costs), with the understanding that a formal crossing study was not recommended at this time due to likely failure to meet County criteria and the associated expense. The Board also requested staff consolidate these costs for future reference, noting the topic has been recurring.

Staff confirmed they would compile the requested costs and provide an update at the next meeting.

SIXTH ORDER OF BUSINESS

Consideration of Resolution 2026-02, General Election Resolution

Mr. Haber explained that the District Board is now fully transitioned to qualified elector elections. Originally, Board members were elected through landowner elections, which required property ownership within the CDD. Elections are now conducted by the St. Johns County Supervisor of Elections and are held every two years. To qualify as a candidate, an individual must be at least 18 years old, registered to vote in St. John’s County, and a resident of the CDD, regardless of whether they own or rent their residence.

Mr. Haber further explained that the Supervisor of Elections requires the District to adopt a resolution every two years authorizing the Supervisor to conduct the election of the District’s behalf and identifying which Board seats are up for election. The qualifying period for candidates was noted to be June 8 through June 12. If only one candidate qualifies for a seat, the candidate will be deemed elected without appearing on the ballot. If multiple candidates qualify, the election will appear on the ballot for voters residing within the CDD.

On MOTION by Ms. Gehring, seconded by Ms. Crenier, with all in favor, Resolution 2026-02 General Election Resolution, was approved.

SEVENTH ORDER OF BUSINESS

Consideration of Proposals:

A. Fitness Center Expansion Construction Drawing (*under separate cover*)

Mr. Biagetti stated as this proposal was already handled in the fourth order of business, no further discussion is required.

B. Dog Park Sod

Staff presented a proposal to replace damaged turf along the outer edge of the pavers in the large dog park, where heavy use has resulted in exposed dirt and mud. The scope includes installing Bermuda sod along approximately three fence sections adjacent to the pavers. The total cost for materials and installation is \$1,685.

The Board confirmed that sufficient funds are available within the landscaping contingency of the operating and maintenance budget. Members agreed the work is necessary and the cost reasonable.

Staff advised that installation would proceed once sod delivery is scheduled. Because the area is near the dog park entrance, fencing will not be possible. Residents will be encouraged to keep dogs on leash and minimize use of the new sod until it establishes. Staff will post temporary signage at the dog park and include a notice in the community newsletter.

On MOTION by Mr. Cooper, seconded by Ms. Gehring, with all in favor, the Proposal for Dog Park Sod Installation for \$1,685, was approved.

C. Pickleball and Basketball Court Lighting (*under separate cover*)

Staff reported that a lighting proposal is still pending due to delays from the vendor related to product availability and pricing. Although the proposal was expected prior to the meeting, it was not received in time. Staff advised the item should be tabled until the next meeting, at which time a complete proposal is expected. The Board agreed to table the item to the next meeting.

During discussion, the Board addressed questions raised earlier regarding facility hours and lighting, particularly as they relate to seasonal daylight changes. It was noted that nay change to facility hours, including use of lighting, can be made at the Board’s discretion without a formal hearing. The Board agreed to revisit both the lighting proposal and any potential changes to facility hours at the next meeting.

D. Bike Rack/Concrete Pad for Bike Rack

Staff presented a proposal that combines installation of a bike rack with construction of a concrete pad on CDD property along Bannon Lakes Boulevard, near the boundary of South Shore. The proposal includes installation of a 10-foot by 14-foot concrete pad at a cost od \$2,565. The Board was presented with two options for the bike rack to be placed on the pad: a five-bike rack or nine-bike rack. The bike rack cost was estimated at approximately \$1,400, bringing the total project cost to approximately \$3,700, depending on final configuration. It was noted that the concrete pad represents the majority of the cost.

Staff explained that while the District has historically preferred that individual HOA’s install. And maintain bike racks within their communities, a temporary bike rack had previously been installed at this location to accommodate South Shore residents. The rack is located at the edge of CCD property, and the bus stop it serves is not directly adjacent to the rack location. Staff

indicated that the installation was intended as a temporary measure until South Shore installed its own bike rack.

Board members expressed concern about approving District funds for a permanent installation that would primarily benefit a single HOA, noting that other HOA's have paid for and installed their own bike racks. The Board discussed the importance of consistency and fairness among communities and agree that South Shore should be approached to determine whether it is willing to assume responsibility for installing and funding a bike rack on its own property, potentially relocating it slightly off CDD land.

Staff confirmed that South Shore had not been recently contacted regarding assuming responsibility for the bike rack but agreed that such a conversation should occur before any approval by the Board. Staff volunteered to contact South Shore to discuss the issue and report back to the Board.

The Board took no action on the proposal at this time and agreed to defer consideration until after discussions with South Shore are completed.

EIGHTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Mr. Haber advised that a proposed settlement had been received from the roofing material manufacturer following negotiations. In exchange, the District would execute a release of claims related to the failed roofing material and resulting damages.

Mr. Haber explained that the release language is broad and would release the company and its affiliates from any current or future claims arising out of this specific roofing issue. However, the release would apply only to this incident and would not affect any unrelated or future purchases from the company. Mr. Haber further noted that one provision of the agreement requiring confidentiality was problematic, as the District cannot agree to confidentiality beyond what is permitted by law. Revised language was proposed to limit confidentiality to the maximum extent allowed by law.

Board members asked clarifying questions regarding the scope of the release and confirmed that the District did not replace the roof using the same manufacturer's materials and that the settlement simply reimburses the District for costs paid to another contractor. It was also noted that while additional site issues, such as damage to concrete areas, exist, those items were not included in the reimbursement request and are outside the scope of the settlement.

The Board expressed appreciation for counsel’s efforts in securing full reimbursement and noted that the outcome represents a significant benefit to the District.

On MOTION by Ms. Gehring, seconded by Ms. Crenier, with all in favor, Accepting and Authorizing Chair to Execute Settlement Offer from TAMKO, was approved.

B. Engineer

Mr. Acree stated he had nothing further to report and was happy to answer questions.

C. District Manager

Mr. Biagetti reported he met on site with staff members Emily and Jeff, along with the District’s insurance provider, for a general site visit. He noted this was his first opportunity to see the full extent of the District’s facility in person.

The visit focused on reviewing the facilities and discussing risk management items, including guidance from the insurer on signage and related considerations, consistent with prior discussions regarding appropriate language and safety measures. Mr. Biagetti commented that the facilities are in excellent condition and expressed appreciation for the strong partnership with the District’s insurance provider.

Mr. Biagetti concluded by commending staff, specifically Jeff and Emily, for their work in maintaining the facilities at a high standard.

D. General Manager– Report

Ms. Wright reported on recent and upcoming community events. The Polar Bear event was held successfully over the weekend with good attendance and favorable weather. A snow machine was provided, and the event is planned to return next year. A Valentine’s Day children’s craft event is scheduled for February 13, with two class sessions available.

Ms. Wright provided an update on Vendor Village. The vendor coordinator indicated a resident-only Vendor Village would require participation of at least 30 resident vendors, noting that prior resident turnout has been low. An April date is being considered pending interest. The Board confirmed continued approval of outside vendors and limited on-site signage advertising the event.

Ms. Wright reported that the Little Free Library has been ordered and is expected to arrive prior to the next meeting. Staff will solicit book donations and install the library at the roundabout.

Discussion followed regarding a proposed swim school program. Staff is awaiting final cost details, including the vendor's fee to the District and charges to residents. The Board requested this information prior to approval and confirmed the program must be resident-only. Staff will also confirm execution of a vendor agreement and liability provisions.

Mr. Johnson provided an operations update. Installation of playground and dog park shade structures is underway, with concrete footings being installed. Shade materials are expected to arrive in approximately three to four weeks. The playground will remain closed until installation and re-mulching are complete. Staff will continue providing updates to residents.

Mr. Johnson also reported that additional sidewalk signage has been installed to address e-bike and scooter safety concerns, directing traffic away from the patio, pool, and office areas. Educational efforts will continue.

Sgt. Kukar addressed the board regarding on going speeding, e-bike, and scooter safety concerns. He reported continued enforcement efforts, emphasizes the role of parental responsibility, and noted recent incidents involving unsafe operation. Patrol presence and education efforts will continue as resources allow. The Board thanked Sgt. Kukar for his assistance.

NINTH ORDER OF BUSINESS

Audience Comments

Resident (Hayley, 597 Blind Oak) asked whether the recent roof settlement would impact future assessments. Staff explained the settlement proceeds will be returned to the Capital Reserve Fund and considered during the upcoming budget process. No determination has been made regarding future assessment levels. Hayley also asked whether the dog park would be closed following sod installation. Staff confirmed the park will be closed during installation and may remain closed briefly afterward to allow sod to establish.

Resident (Tom Kelly, 178 Ash Breeze Cove) asked whether the proposed bike rack improvements included the Seacrest Harbor location. Staff confirmed they did not. Mr. Kelly also inquired about television programming at the amenity center. Staff confirmed the District does not provide cable service and utilizes streaming devices and Wi-Fi only. Mr. Kelly noted that future crosswalk installations may require sidewalk modifications.

Resident (Mary Lyles, 137 Orchard Lane) asked about ownership of the bike pad on Duran Drive and proposed a community painted-rock activity. Staff clarified the pad was developer-installed, and the Board requested additional information before considering the activity.

Resident (Duane Dodwell, 251 Rock Spring Loop) asked questions regarding fitness equipment additions and expressed concern regarding pedestrian safety and emergency cases. The Board acknowledged the comments and stated equipment selections are still under consideration.

Resident (Matt Davis, 52 Bent Lake Ct) asked whether the mulch project include berms and landscaped areas. Staff confirmed it does and thanked him for his comments.

Resident (Eileen McCabe, 62 Antler Branch) asked whether mirrors would be included in the fitness expansion. The board stated mirrors are under consideration.

Resident (Doug Parker, 56 Ash Breeze Cove), requested consideration of an additional elliptical machine. The Board noted the request for future consideration.

Resident (Charlie, Beechnut Circle) asked about lighting controls for the basketball and pickleball courts. Staff stated lighting would include timers and be designed to minimize light spill.

Resident asked whether sod installation should be delayed until warmer weather. Staff stated the installation is necessary due to current conditions and will be managed to support establishment.

Resident (Susan, Orchard Lane) addressed traffic safety concerns on county owned roadways. She referenced prior traffic monitoring equipment placed in the area, which staff confirmed was installed by the Sherrif's office at no cost to the District. Susan expressed concern regarding speeding vehicles, e-bike, and scooters operating on sidewalks, pedestrian safety, wildlife impacts, and the limited access into and out of the community. She asked why the County is unable to implement traffic calming measures.

Staff and Board members explained that the roadway is under County jurisdiction and that the District lacks authority to install traffic controls without County Approval. Residents were encouraged to contact the County Commissioner for the district to voice concerns, as constituent outreach is the primary avenue for potential County action.

TENTH ORDER OF BUSINESS

Supervisor’s Requests

Mr. Biagetti opened Supervisor’s request.

ELEVENTH ORDER OF BUSINESS

Financial Reports

A. Balance Sheet and Statement of Revenues & Expenditures for the Period Ending December 31, 2025

Mr. Biagetti presented the unaudited financials through December 31, 2025.

B. Assessment Receipt Schedules

Mr. Biagetti stated assessment receipt schedule shows that the CDD is 79.71% collected.

C. Approval of Check Register

Mr. Baigetti presented the Check Register totaling \$272,016.68, which also includes the \$25,000 payment out of the capital reserve for the roof project.

On MOTION by Ms. Crenier, seconded by Ms. Gehring, with all in favor Check Register Totaling \$272,016.68, was approved.

TWELFTH ORDER OF BUSINESS

Next Scheduled Meeting – February 17, 2026 at 6:00 p.m. at Bannon Lakes Amenity Center

Mr. Biagetti announced that the next meeting was scheduled for February 17, 2026 at 6:00 p.m. at the Bannon Lakes Amenity Center.

THIRTEENTH ORDER OF BUSINESS

Adjournment

On MOTION by Ms. Crenier seconded by Mr. Ter Louw with all in favor the meeting was adjourned.

Secretary / Assistant Secretary

Chairperson / Vice Chairperson

FOURTH ORDER OF BUSINESS

A.

REVIEW SET

XX-XX-2026

BANNON LAKES FITNESS CENTER

THIS SET OF CONSTRUCTION DOCUMENTS IS INTENDED TO BE READ AS A COMPREHENSIVE SET OF DRAWINGS AND WRITTEN SPECIFICATIONS.

REVISIONS

NO.	DATE	DESCRIPTION	BY

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF BASHAM & LUCAS DESIGN GROUP AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



prepared for Bannan Lakes, CDD
BANNON LAKES
 St. Johns County, FL
FITNESS CENTER
 COVER SHEET

DIVISION	CATEGORY	EXTERIOR COMPONENT	MANUFACTURER	MODEL NO. NAME	COLOR	FPA NO.
073113	ROOFING	ASPHALT SHINGLES	CERTAINTEED, LLC	CERTAINTEED LANDMARK PRO	TBD	FL5444.2
073216	ROOFING	CONCRETE ROOF TILES	WESTLAKE ROYAL ROOFING	SAXONY 900	MOUNTAIN BLEND	FL7849.21
074113	ROOFING	EXPOSED FASTENER METAL ROOFING	PETERSON ALUMINUM CORP	5-V CRIMP	SLATE BLUE	FL24423.2
075419	ROOFING	MEMBRANE ROOFING	CARLISLE SYNTEC SYSTEMS	SURE-FLEX PVC KEE ROOFING SYSTEM	WHITE	FL14165.1
077200	ROOF ACCESSORIES	ROOF ACCESS HATCH	THE BILCO COMPANY	TYPE S-50	ALUMINUM MILL FINISH	FL15110
081113	EXTERIOR DOORS	HOLLOW METAL DOORS & FRAMES	ALLEGION	STEELCRAFT STEEL DOORS	PRIMED	PROVIDE CURRENT
081613	EXTERIOR DOORS	FIBERGLASS DOORS & FRAMES	PLASTPRO INC.	TBD	FIELD PAINT	FL15213
081615	EXTERIOR DOORS	VINYL DOORS & FRAMES	PGT INDUSTRIES	WINGUARD VINYL DOOR FD-5555	WHITE	FL253.6
083213	EXTERIOR DOORS	SLIDING ALUMINUM FRAMED GLASS DOORS	YKK AP AMERICA, INC.	YSD 600 TH SLIDING GLASS DOOR	WHITE	FL8753.3
083215	EXTERIOR DOORS	MULTI-SLIDE DOOR SYSTEM	EURO-WALL SYSTEMS, LLC	MS-MULTISLIDE SYSTEM WZ3	WHITE	FL34003
083613	EXTERIOR DOORS	OVERHEAD SECTIONAL DOORS	CLOPAY CORPORATION	INDUSTRIAL SERIES MODEL 524	TBD	FL16848.1
084113	STOREFRONTS	EXTERIOR STOREFRONT WINDOWS, SIDELIGHTS, & TRANSOMS	YKK AP AMERICA, INC.	YHS 50 TU	WHITE	FL14218.13
084113	STOREFRONTS	EXTERIOR STOREFRONT DOORS	YKK AP AMERICA, INC.	35HL MEDIUM STILE DOOR	WHITE	FL16981.2
085313	EXTERIOR WINDOWS	VINYL SLIDING WINDOWS	PGT INDUSTRIES	WINGUARD VINYL ROLLER SGD-5570	WHITE	FL242.6
085313	EXTERIOR WINDOWS	FIXED VINYL WINDOWS	PGT INDUSTRIES	WINGUARD VINYL FIXED PW-5520	WHITE	FL243.5
089119	LOUVERS	ALUMINUM LOUVERS	CONSTRUCTION SPECIALTIES, INC.	DCH-5704	TBD	FL21969



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ST. JOHNS COUNTY, FLORIDA

P R O J E C T T E A M

<p>OWNER Bannan Lakes CDD C/O Governmental Management Services 475 West Town Place Suite 114 St. Augustine, Florida 32092</p>	<p>CIVIL ENGINEER Taylor & White, Inc. 9556 Historic Kings Road S., Suite 102 Jacksonville, Florida 32257 904.346.0671</p>	<p>ARCHITECTURE & LANDSCAPE Basham & Lucas Design Group, Inc. 7645 Gate Parkway Suite 101 Jacksonville, Florida 32256 904.731.2323</p>	<p>INTERIOR DESIGNER Micamy Design Studio 4887 Victor Street Jacksonville, Florida 32007 904.683.6625</p>	<p>STRUCTURAL ENGINEERING Lowe Structures, Inc. 11651 Central Parkway Suite 106 Jacksonville, Florida 32224 904.992.0377</p>	<p>MECHANICAL ENGINEER Ci-Mech Engineering 8431 Baymeadows Way Suite 3 Jacksonville, Florida 32256 904.503.1421</p>	<p>ELECTRICAL ENGINEER Shaffer Engineering Group LLC 12058 San Jose Blvd, Suite 203 Jacksonville, Florida 32223 904.239.3621</p>
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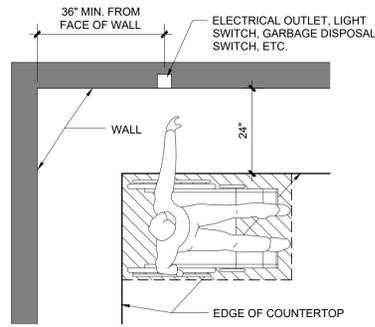
NOT FOR CONSTRUCTION

DRAWN BY	
CHECKED BY	
DATE	09-16-25
JOB NO.	25-28

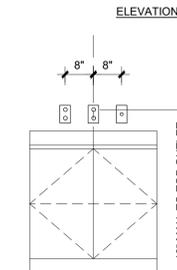
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REVIEW SET

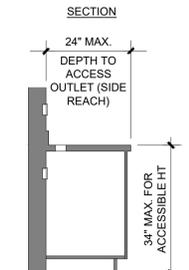
GENERAL NOTE: DIMENSIONS SHOWN ARE CLEAR BETWEEN FINISHES UNLESS NOTED OTHERWISE.



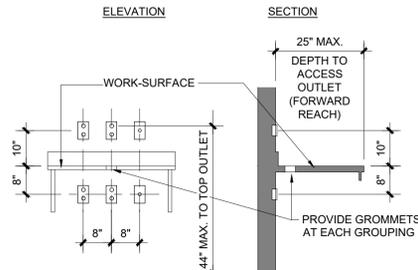
PLAN AT CORNER OF 'L-SHAPED' MILLWORK



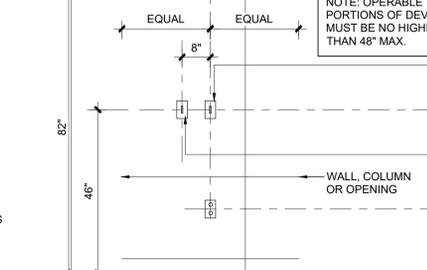
TYPICAL GROUPING ABOVE MILLWORK



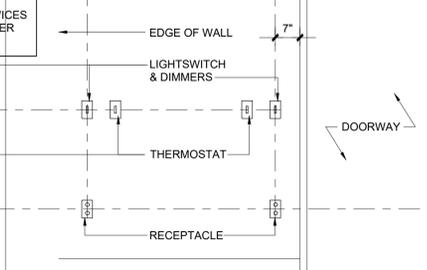
TYPICAL GROUPING ABOVE / BELOW COUNTERTOP



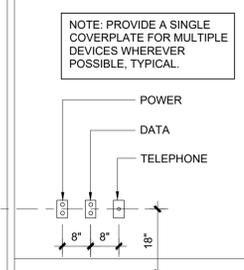
TYPICAL GROUPING BETWEEN DOORS, COLUMNS AND OPENINGS



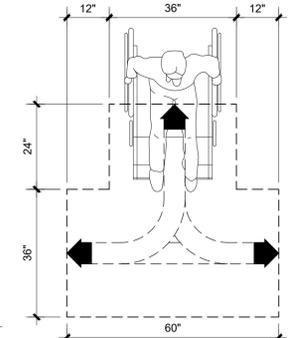
TYPICAL GROUPING AT PARTITION CORNER



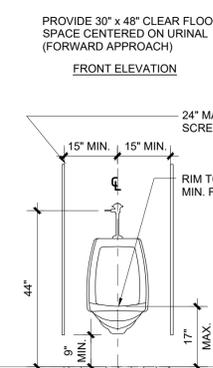
TYPICAL GROUPING AT DOOR/DOORWAY



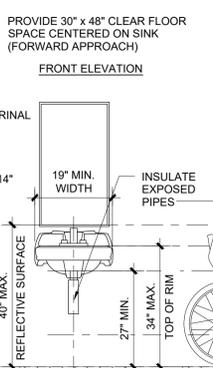
TYPICAL ELECTRICAL DEVICES GROUPING



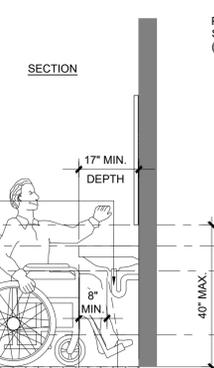
T-SHAPED TURNING SPACE



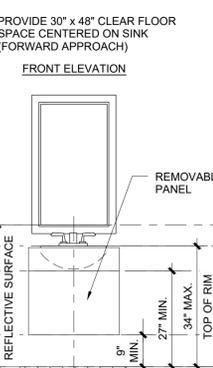
ACCESSIBLE URINAL MOUNTING HEIGHTS



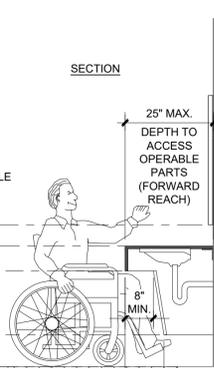
ACCESSIBLE LAVATORY MOUNTING HEIGHTS



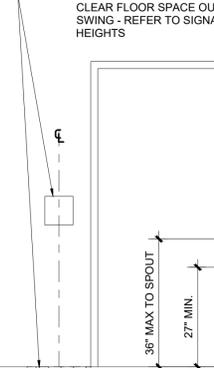
ACCESSIBLE VANITY MOUNTING HEIGHTS



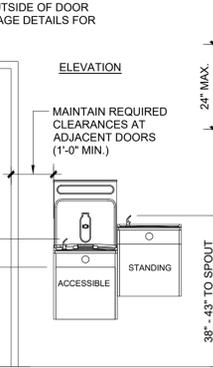
ACCESSIBLE LAVATORY MOUNTING HEIGHTS



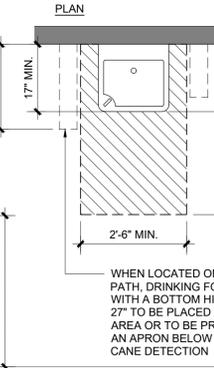
ACCESSIBLE VANITY MOUNTING HEIGHTS



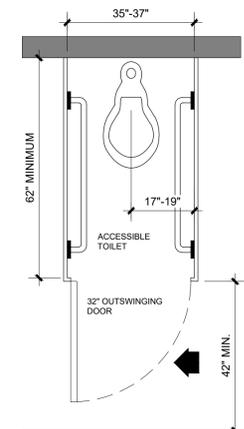
DRINKING FOUNTAIN / ELECTRIC WATER COOLER



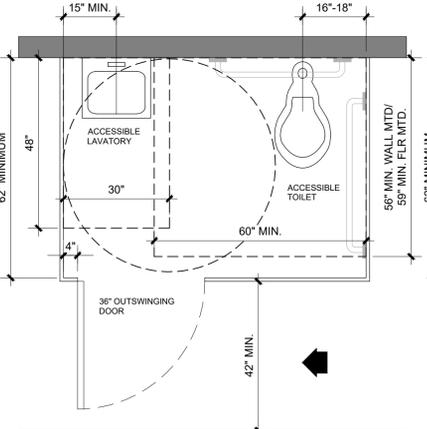
PROTRUDING OBJECTS



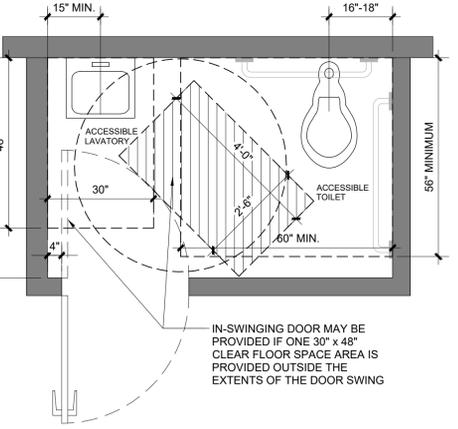
TURNING SPACE



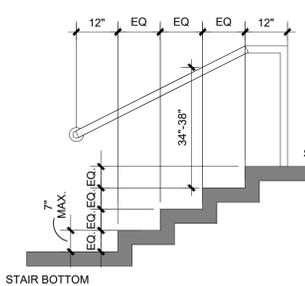
AMBULATORY ACCESSIBLE TOILET COMPARTMENT



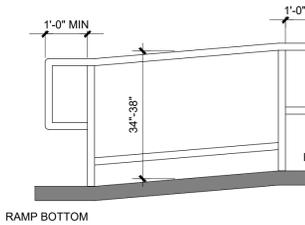
WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT



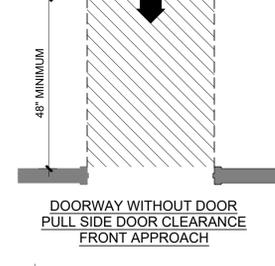
WHEELCHAIR ACCESSIBLE SINGLE USER TOILET ROOM



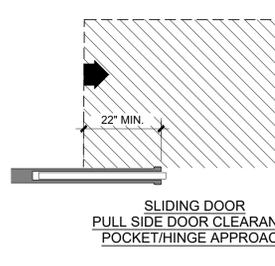
HANDRAIL HEIGHT AND EXTENSIONS AT STAIRS



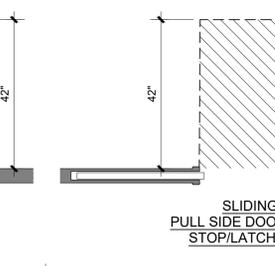
HANDRAIL HEIGHT AND EXTENSIONS AT RAMP



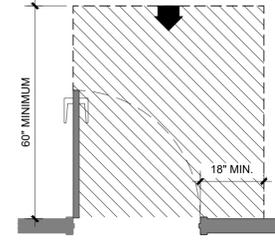
DOORWAY WITHOUT DOOR PULL SIDE DOOR CLEARANCE FRONT APPROACH



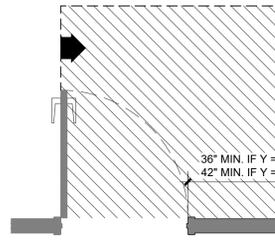
SLIDING DOOR PULL SIDE DOOR CLEARANCE POCKET/HINGE APPROACH



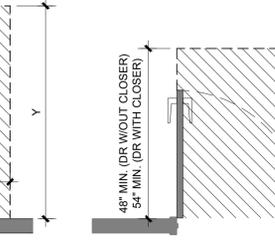
SLIDING DOOR PULL SIDE DOOR CLEARANCE STOP/LATCH APPROACH



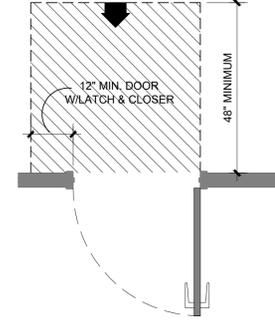
SWINGING DOOR/GATE PULL SIDE DOOR CLEARANCE FRONT APPROACH



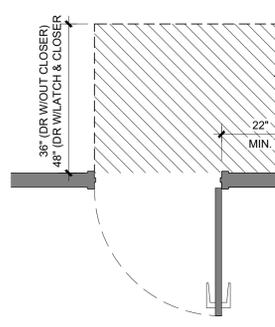
SWINGING DOOR/GATE PULL SIDE DOOR CLEARANCE HINGE APPROACH



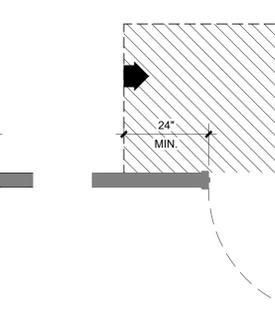
SWINGING DOOR/GATE PULL SIDE DOOR CLEARANCE LATCH APPROACH



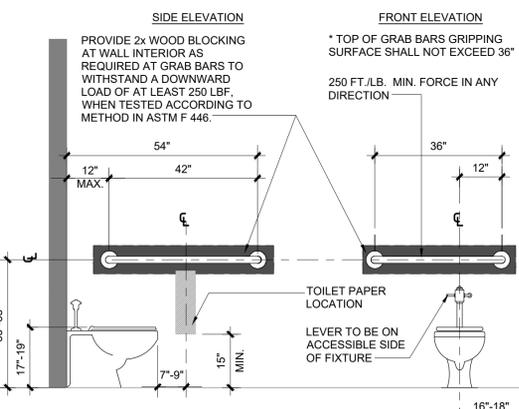
SWINGING DOOR/GATE PUSH SIDE DOOR CLEARANCE FRONT APPROACH



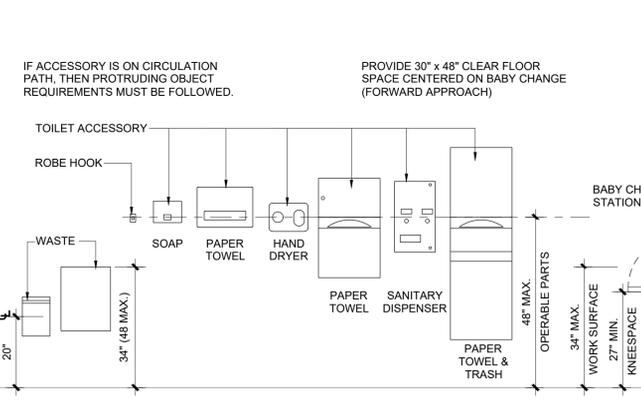
SWINGING DOOR/GATE PUSH SIDE DOOR CLEARANCE HINGE APPROACH



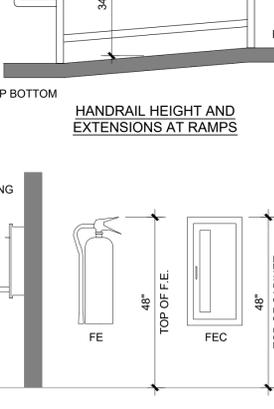
SWINGING DOOR/GATE PUSH SIDE DOOR CLEARANCE LATCH APPROACH



WHEELCHAIR ACCESSIBLE TOILET MOUNTING HEIGHTS



TOILET ACCESSORIES



FIRE EXTINGUISHERS AND CABINETS

REVISIONS			
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FITNESS CENTER
 MOUNTING HEIGHTS AND FLOOR CLEARANCES

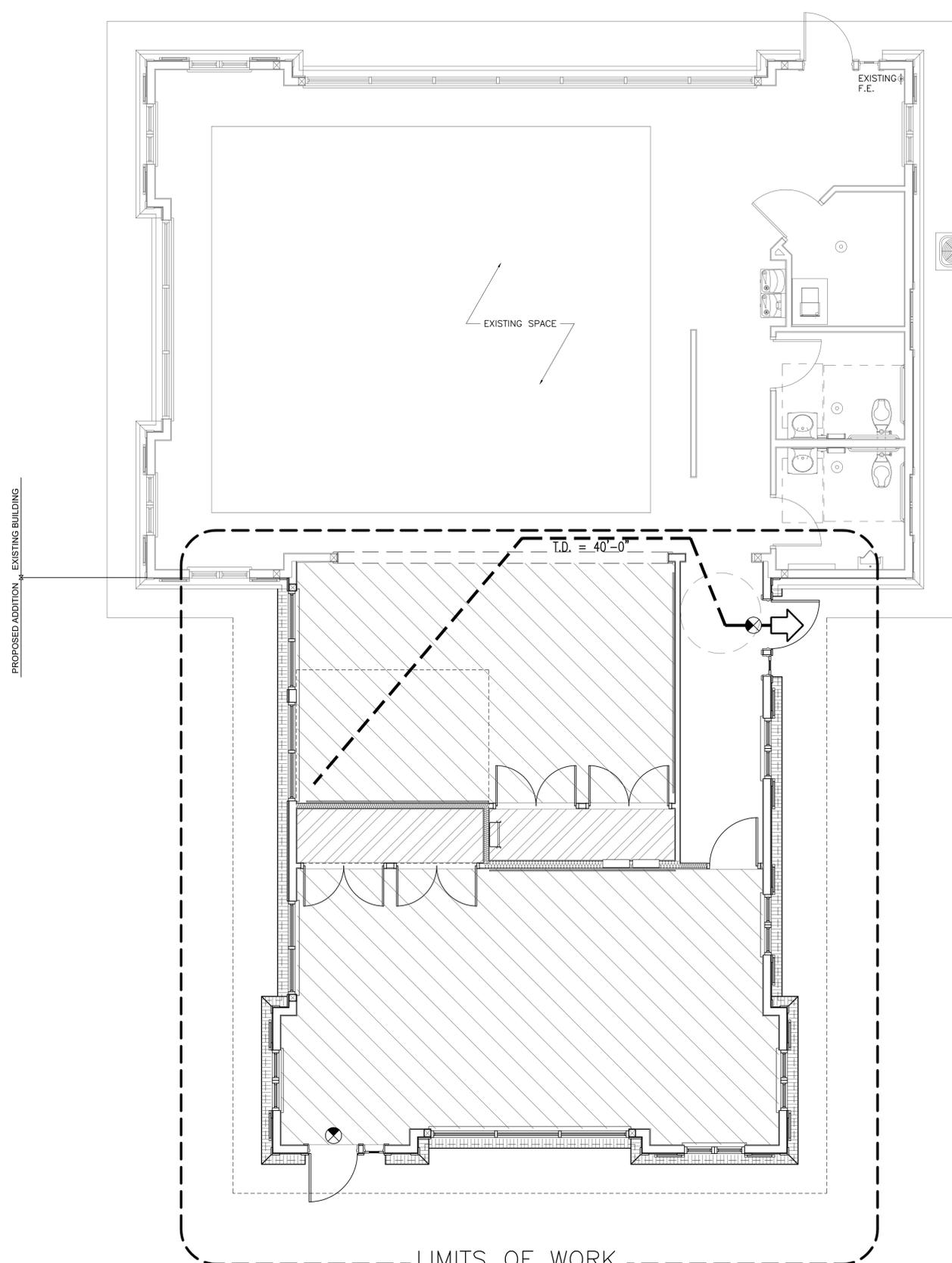


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ABBREVIATIONS / SYMBOLS

- F.E.C. = FIRE EXTINGUISHER CABINET
- E.A.T.D. = EXIT ACCESS TRAVEL DISTANCE
- E.A.T.D. = XXX' (COMMON PATH OF EGRESS) (PATH OF EGRESS)
- CLEAR DOOR WIDTH
- 33"
- 165
- NUMBER OF OCCUPANTS DOOR CAN EGRESS

NOTE: PER FBC 2023 TABLE 1006.2.1 AN OCCUPANT LOAD OF 49 OR LESS IS PERMITTED TO HAVE ONE EXIT.

SYMBOL LEGEND

- EMERGENCY WALL MOUNTED LIGHT
- EXIT SIGN
- EMERGENCY RECESSED DOWNLIGHT
- EMERGENCY LIGHT FIXTURE
- (1) 36" WIDE DOOR, 33" (CLEAR WIDTH OPENING) / 0.2 (PER PERSON) = 165 OCCUPANTS

PARTITION LEGEND

- REFER TO PARTITION SCHEDULE FOR DETAILS
- NON-RATED STUD WALL
- SOUND ATTENUATION BLANKET

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- LIFESAFETY & FLORIDA ACCESSIBILITY NOTES:**
 1. LOCKS ON EXIT DOORS OR ACCESS EXIT DOORS SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE UNLESS THEY MEET THE REQUIREMENTS OF NFPA 101, 7.2.1.5.
 2. EXITS OTHER THAN THE MAIN EXTERIOR EXIT DOORS THAT ARE OBVIOUSLY CLEAR AND IDENTIFIABLE AS EXITS SHALL BE MARKED BY AN APPROVED SIGN THAT IS READILY VISIBLE FROM ANY DIRECTION OF EXIT ACCESS PER NFPA 101, 7.10.1.2.
 3. CONTRACTOR TO USE A LICENSED FIRE EXTINGUISHER CONTRACTOR FOR IDENTIFYING THE LOCATION & TYPE OF EXTINGUISHERS USED ON SITE PER FS 633.061 AND NFPA 13.6.2.5. FOR OUTDOOR APPLICATIONS, UTILIZE CABINETS OF NON-CORROSIVE MATERIAL SUITABLE FOR EXTERIOR CONDITIONS.
 4. FIREFIGHTER SAFETY WARNING SIGNS (MALTESE CROSS) SHALL BE PLACED IN ACCORDANCE WITH FS 633.027 AND FAC 69A-60.008.
 5. CONTRACTOR TO PROVIDE PROPER SIGNAGE DIRECTING CUSTOMERS AND VISITORS TO RESTROOMS AND OTHER SPACES AS REQUIRED BY FAC 216.3.
 6. CONTRACTOR TO PROVIDE BUILDING ADDRESS NUMBERS THAT ARE A MINIMUM OF 6" HIGH ON THE BUILDING. LETTERS TO BE VISIBLE FROM THE STREET AND MAY REQUIRE BEING LARGER THAN 6" HIGH PER NFPA 1, 10.11.1.2.
 7. CONTRACTOR TO PROVIDE REQUIRED SIGNAGE. THE OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN ENTRANCE/EXIT FROM THE ROOM. REFER TO THE BUILDING CALCULATIONS TABLE ON THE CODE INFORMATION SHEET AS TO THE APPROVED MAXIMUM OCCUPANT LOAD TO BE POSTED, UNLESS OTHERWISE NOTED BY THE FIRE MARSHAL. THE POSTING SHALL READ "MAXIMUM OCCUPANT LOAD XXX PERSONS, BY ORDER OF THE FIRE MARSHAL" PER NFPA 101, 12.7.9.3. CONFIRM LOCATION OF ALL SIGNAGE WITH OWNER & ARCHITECT PRIOR TO INSTALLATION. TACTILE EXIT SIGNAGE WILL BE PROVIDED PER NFPA 101 7.10.1.3.
 8. IN ALL NEW CONSTRUCTION A MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS SHALL BE MAINTAINED AT A LEVEL DETERMINED BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE CONTRACTOR SHALL HAVE A THIRD PARTY PUBLIC SAFETY RADIO ENGINEERING FIRM CONDUCT A TWO-WAY RADIO COMMUNICATION TEST IN ACCORDANCE WITH NFPA 111:1.10 AND NFPA 1225 BY THE TIME OF FRAMING INSPECTION OR SUCH TIME DETERMINED BY THE AHJ. THE CONTRACTOR SHALL PROVIDE A COPY OF THE REPORT TO THE FIRE DEPARTMENT FOR EVALUATION AND ACCEPTANCE.
 9. AT TIME OF FINAL FIRE INSPECTION, CONTRACTOR SHALL ENSURE THAT THE FIRE DEPARTMENT ACCESS ROAD IDENTIFICATION SIGNS ARE IN PLACE.

FIRE EXTINGUISHER CALCULATIONS

FIRE EXTINGUISHER = UL RATED, 3-A: 40BC 5 LBS.
 PER TABLE 906.3(1) FOR ORDINARY HAZARD OCCUPANCY, THE MINIMUM NUMBER OF FIRE EXTINGUISHERS SHALL BE:
 UNIT OF A = 3 x 1500 = 4,500 S.F.
 3,598 S.F. (TOTAL BUILDING AREA) / 4,500 S.F. = 0.79
 FIRE EXTINGUISHERS PROVIDED: 2

OCCUPANT AREAS

- ASSEMBLY WITHOUT FIXED SEATS
15 SF NET PER OCCUPANT LOAD
FBC 2023 (TABLE 1004.5) / FIFC, 8TH EDITION (TABLE 7.3.1.2)
- ACCESSORY STORAGE | MECHANICAL ROOMS
300 SF GROSS PER OCCUPANT LOAD
FBC 2023 (TABLE 1004.5) / FIFC, 8TH EDITION (TABLE 7.3.1.2)
- NON-HABITABLE AREA
N/A

OCCUPANCY CALCULATIONS

OCCUPANCY TYPE "A-3" F/ PLUMBING FIXTURES			
ROOMS	AREA (s.f.)	AREA PER PERSON (s.f.)	OCCUPANCY (ALLOWABLE)
FITNESS AREA - EXISTING	1,178	50	24
AEROBICS AREA #1	341	50	7
AEROBICS AREA #2	522	15	35
TOTAL BUILDING OCCUPANCY			66

PLUMBING FIXTURE REQUIREMENTS					
LOCATION	GENDER	OCCUPANCY (TOTAL)	REQUIRED FIXTURES		
			T.O.I.L.T.	L.A.V.	D.F.
BUILDING BASED ON A-3	MEN	41	1	0	
	WOMEN	41	1	1	1
TOTAL PROVIDED	MEN		1	1	0
	WOMEN		1	1	1

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St. Johns County, FL

FITNESS CENTER
LIFE SAFETY PLAN



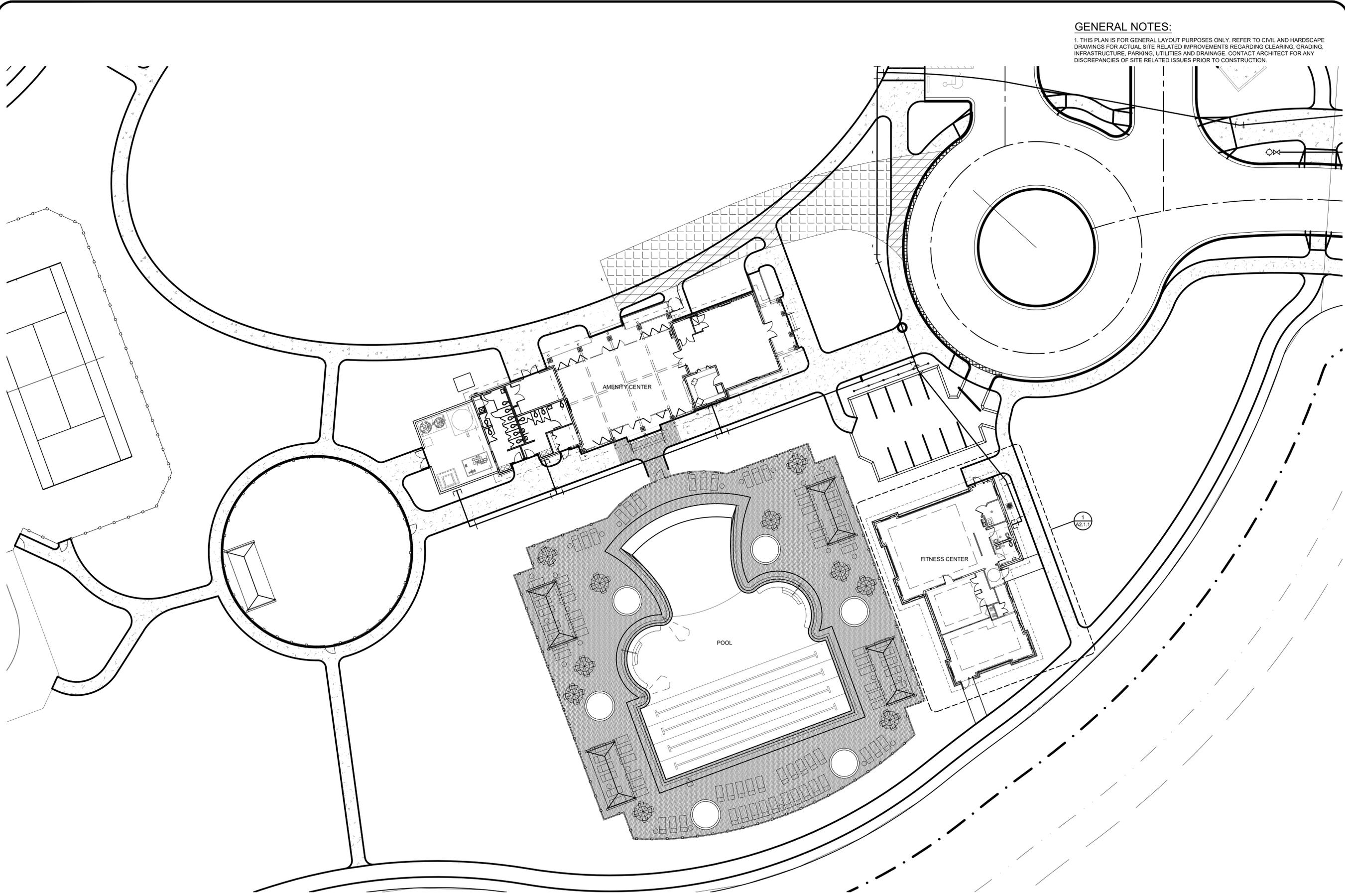
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GENERAL NOTES:
 1. THIS PLAN IS FOR GENERAL LAYOUT PURPOSES ONLY. REFER TO CIVIL AND HARDSCAPE DRAWINGS FOR ACTUAL SITE RELATED IMPROVEMENTS REGARDING CLEARING, GRADING, INFRASTRUCTURE, PARKING, UTILITIES AND DRAINAGE. CONTACT ARCHITECT FOR ANY DISCREPANCIES OF SITE RELATED ISSUES PRIOR TO CONSTRUCTION.

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 ARCHITECTURAL SITE PLAN



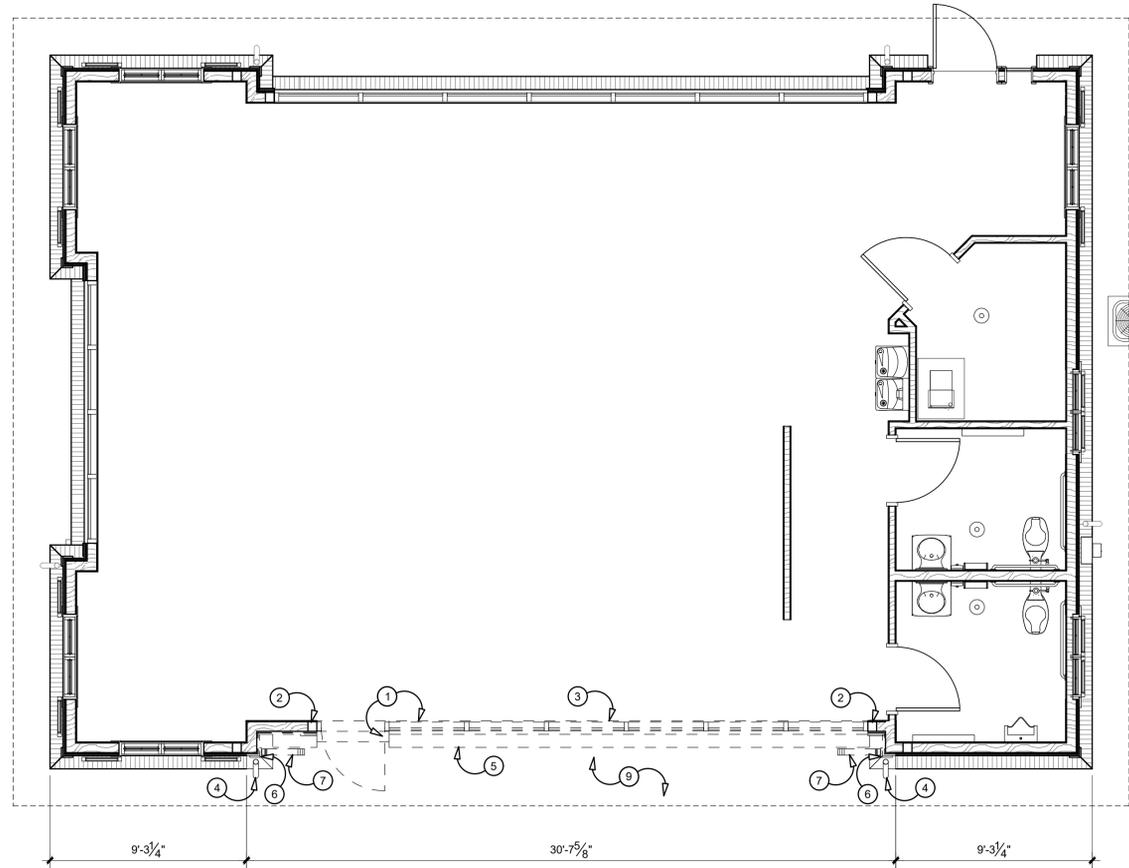
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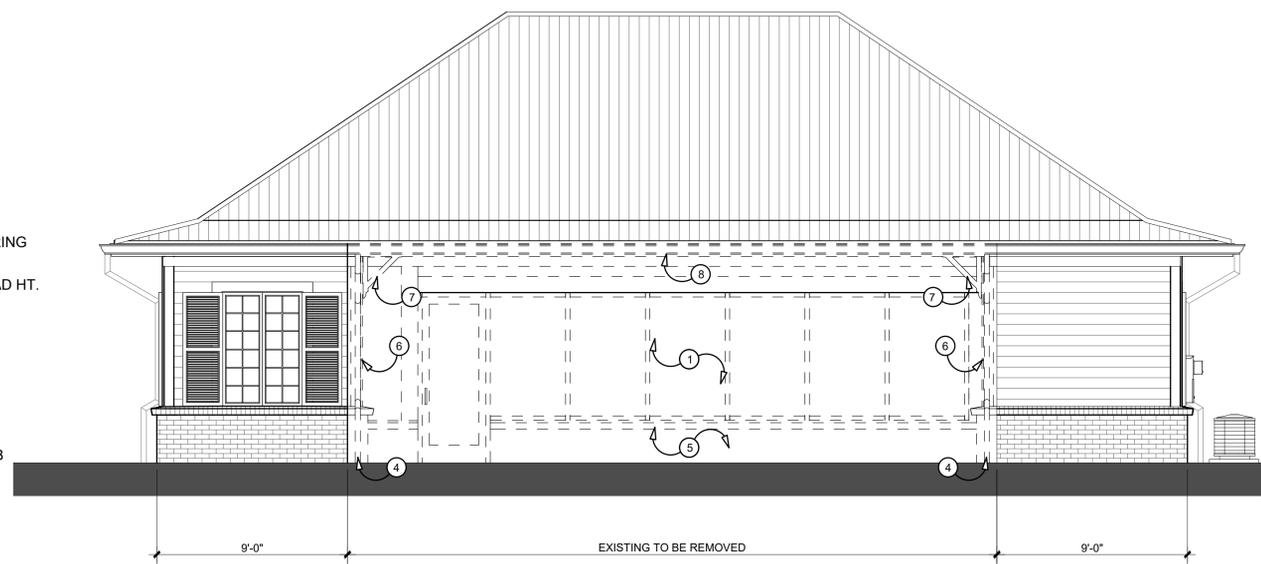
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 **1** ARCHITECTURAL SITE PLAN
 SCALE: 1/16" = 1'-0"



1 DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



2 DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. DEMOLITION CONSISTS OF REMOVING ALL OR PARTIAL REMOVAL OF EXISTING CONSTRUCTION WHICH IN ITS PRESENT POSITION WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION AND TO PERFORM ANY OTHER CUTTING OR PATCHING OF EXISTING CONSTRUCTION AS SHOWN ON THE CONSTRUCTION DOCUMENTS.
2. DEBRIS RESULTING FROM DEMOLITION AND CONSTRUCTION SHALL BE REMOVED FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO A WASTE AREA PROVIDED BY THE CONTRACTOR.
3. THE CONTRACTOR IS INSTRUCTED TO KEEP DEMOLITION DEBRIS OUT OF BUILDING CORRIDORS AND AWAY FROM TENANT OCCUPIED AREAS.
4. DRAWING INDICATES ONLY DEMOLITION OR EXISTING CONSTRUCTION TO REMAIN.
5. ALL EXISTING FINISHES WHERE DEMOLITION OR DAMAGE OCCURS, SHALL BE PATCHED, PAINTED, OR REPLACED AS REQUIRED.
6. IF EXISTING CONDITIONS ARE DISCOVERED TO BE AT VARIANCE WITH INFORMATION SHOWN ON DEMOLITION PLANS, IT IS THE INTENT OF THESE DRAWINGS TO HAVE THE CONFLICTING ITEM(S) REMOVED TO THE EXTENT REQUIRED TO FACILITATE INSTALLATION OF THE NEW CONSTRUCTION.
7. PATCH AND SEAL ALL PENETRATIONS THROUGH RATED WALLS AND FLOORS (1HR, 2HR, SMOKE, ETC.) RESULTING FROM DEMOLITION OPERATION AND AS ENCOUNTERED IN AREAS NOT SCHEDULED FOR RENOVATION.
8. REMOVE ALL ABANDONED POWER AND COMMUNICATIONS OUTLETS, BOXES, AND COVERPLATES – PATCH WALLS (OR FLOORS) TO RECEIVE NEW FINISHES.
9. REFER TO THE INTERIOR DESIGN DRAWINGS FOR THE REMOVAL ALL EXISTING CEILING TILE, CEILING TRACK, GYPSUM BOARD, LIGHT FIXTURES, SUPPLY DIFFUSERS / RETURNS AND ANY OTHER CEILING DEVICES WITHIN LIMITS OF WORK. MAINTAIN SPRINKLER SYSTEM AND HEADS IN WORKING ORDER. COORDINATE NEW SPRINKLER DISTRIBUTION AND HEAD LAYOUT WITH FUTURE TENANT DESIGN AND FIRE PROTECTION DRAWINGS.
10. NO DEMOLITION WORK SHALL OCCUR IN THE EXISTING RESTROOMS.

LEGEND

- ===== EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- ⌣ DOOR TO REMAIN
- ⌣ DOOR TO BE REMOVED

KEY NOTES:

1. REMOVE EXISTING STOREFRONT SYSTEM.
2. EXISTING WOOD COLUMN TO REMAIN.
3. REMOVE EXISTING LOW WALL.
4. REMOVE EXISTING DOWNSPOUT.
5. REMOVE EXISTING BRICK ROWLOCK AND BRICK VENEER BELOW TO EXTENTS SHOWN.
6. REMOVE EXISTING SIDING AND TRIM TO EXTENTS SHOWN.
7. REMOVE AND SALVAGE EXISTING DECORATIVE BRACKET FOR FUTURE USE.
8. REMOVE EXISTING SOFFIT AND GUTTER TO EXTENTS SHOWN.
9. REMOVE AND SALVAGE EXISTING LIGHT FIXTURES FOR FUTURE USE.

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 DEMOLITION PLAN



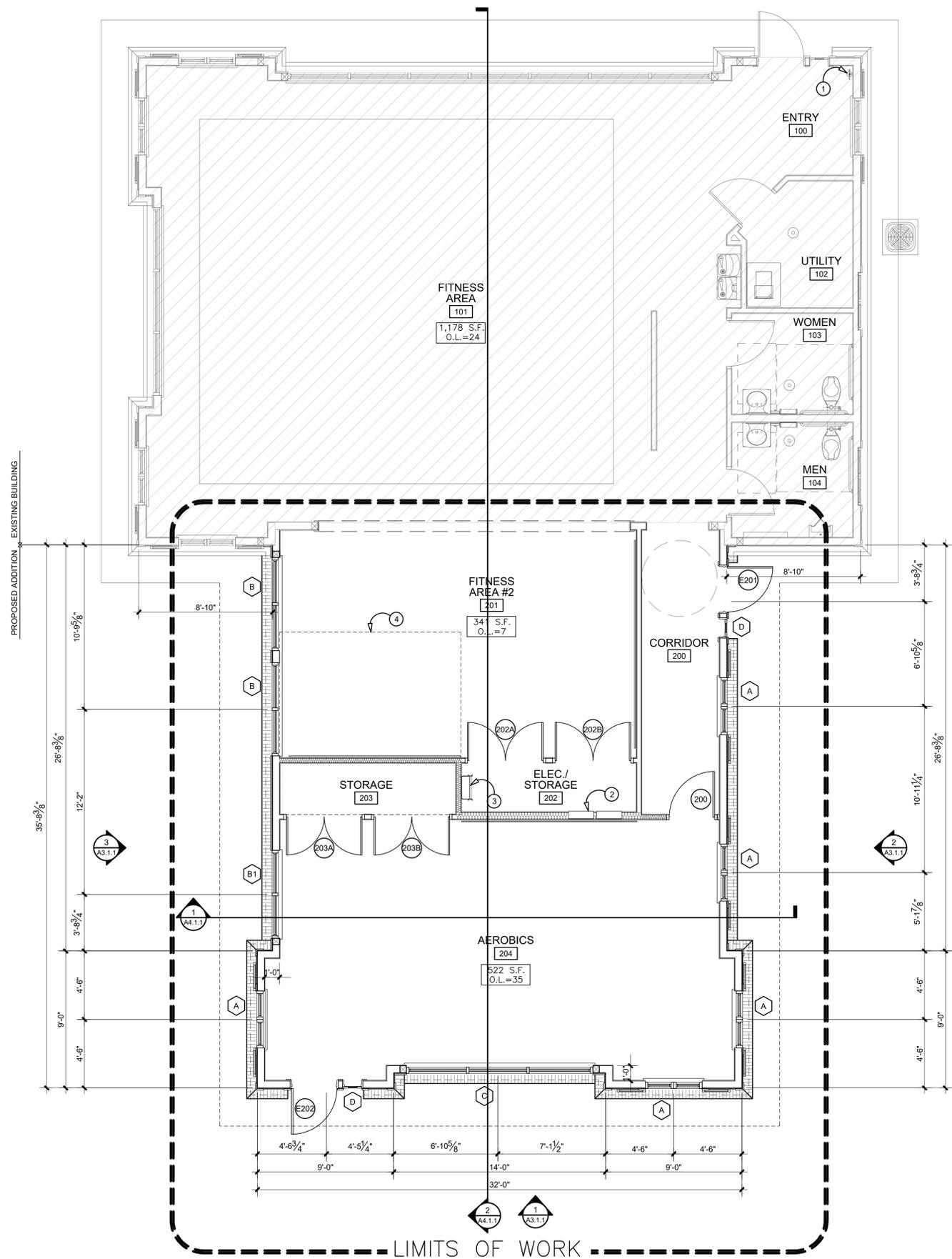
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1 FLOOR PLAN

SCALE 1/4" = 1'-0"
 FLOOR UNIT AREA:
 EXISTING - 1,452 S.F.
 ADDITION - 1,105 S.F.
 TOTAL - 2,557 S.F.

GENERAL NOTES:

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- ALL INTERIOR AND EXTERIOR DIMENSIONS GIVEN ARE FROM FACE OF BLOCK, STUD, OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED (U.N.O.).
- ALL DOORS TO BE LOCATED 6" (VERIFY WIDTH OF DOOR TRIM W/ I.D. DRAWINGS) FROM ADJACENT WALL OR COUNTER OR CENTERED IN WALL (U.N.O.).
- MOISTURE RESISTANT GWB IN RESTROOMS TYP
- PROVIDE TERMITE PROTECTION PER FBC 1816. REFER TO SPECIFICATIONS.

KEY NOTES:

- EXISTING FIRE EXTINGUISHER
- ELECTRICAL PANELS, RE: ELECTRICAL
- LADDER TO MECHANICAL PLATFORM ABOVE
- OUTLINE OF MECHANICAL PLATFORM ABOVE

PLAN LEGEND

- INDICATES STUD WALL
- INDICATES SOUND BATT INSULATION AT INTERIOR PARTITIONS - ALL EXTERIOR STUD WALLS TO RECEIVE BATT INSULATION - REFER TO WALL SECTIONS

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 FLOOR PLAN



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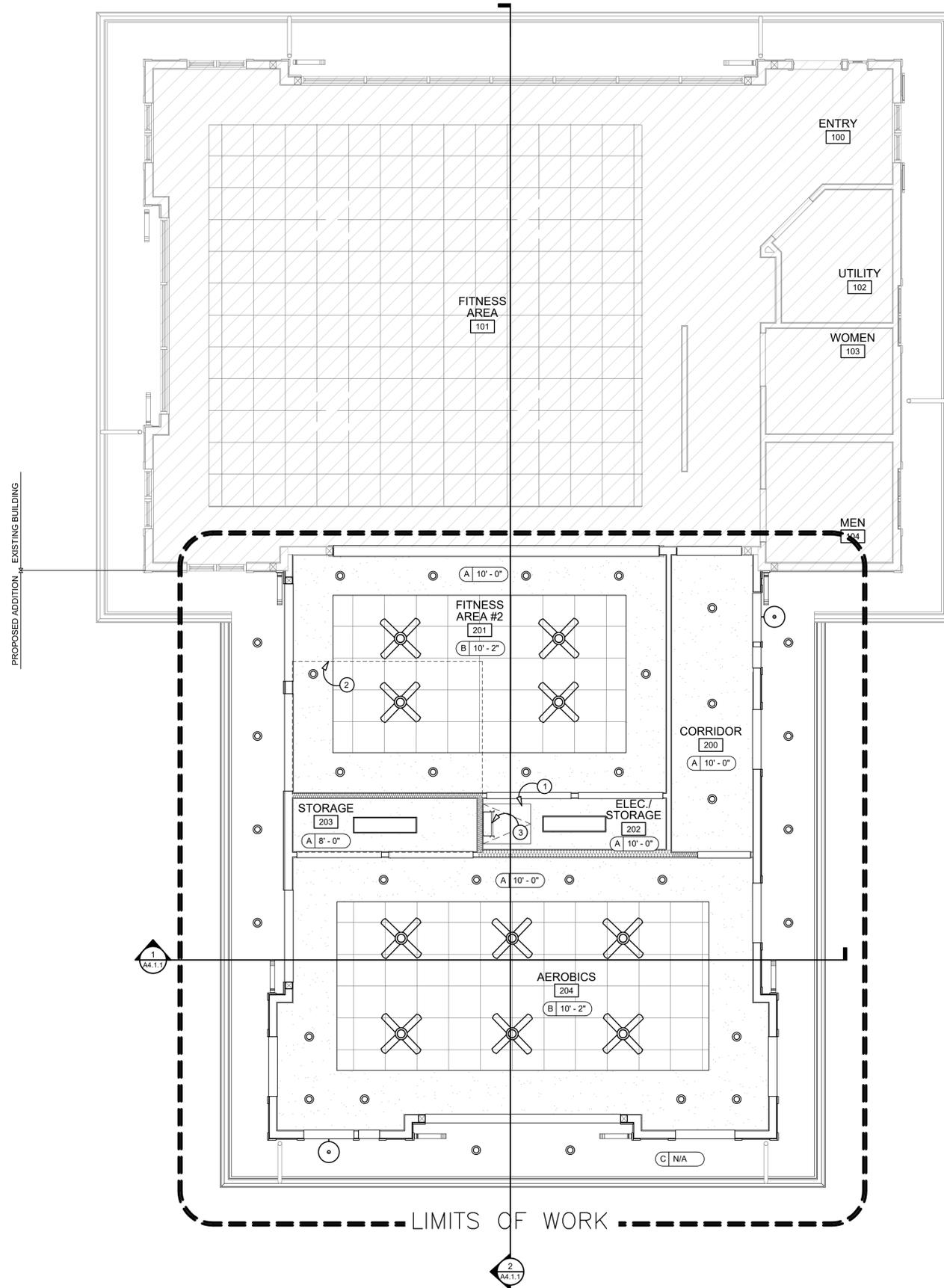
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- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
- IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- COORDINATE LOCATION OF ALL LIGHTING, CEILING DIFFUSERS, EXIT SIGNAGE AND OTHER CEILING DEVICES WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- PER FBC 2803.4 SPRAY FOAM INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY AN APPROVED THERMAL BARRIER OF 1/2" (MIN.) GYPSUM BOARD OR ANOTHER APPROVED MATERIAL. WHERE A CEILING FINISH OCCURS OTHER THAN GYPSUM BOARD, SUCH AS ACOUSTICAL CEILING TILE AND GRID, GYPSUM BOARD OR AN INTUMESCENT BARRIER SHALL BE PROVIDED ABOVE THE CEILING FINISH TO MAINTAIN THE THERMAL BARRIER REQUIREMENTS. WHERE NO CEILING FINISH OCCURS AND SPRAY FOAM INSULATION IS EXPOSED TO THE INTERIOR OF THE BUILDING, AN APPROVED THERMAL BARRIER SHALL BE PROVIDED.
- ALL CEILINGS SECURED TO THE BOTTOM OF TRUSSES SHALL BE INSTALLED OVER 1" FURRING OR PLYWOOD TO PROVIDE A LEVEL SURFACE. FINISH MATERIAL SECURED DIRECTLY TO THE BOTTOM OF TRUSSES IS NOT ACCEPTABLE.
- CEILING FIXTURES INCLUDING MECHANICAL DIFFUSERS AND SPEAKERS SHALL BE PAINTED TO MATCH ADJACENT FINISHES. WHERE ADJACENT FINISH IS STAINED, CONSULT WITH ARCHITECT ON FINISH COLOR.
- CONTRACTOR TO CONFIRM WITH ARCHITECT WHERE CONCEALED VS EXPOSED SPRINKLER HEADS SHALL BE INSTALLED. AT CONCEALED LOCATIONS, SPRINKLER HEAD CAPS SHALL BE PAINTED TO MATCH ADJACENT FINISHES.

KEY NOTES:

- 30x36 ATTIC ACCESS HATCH, PAINTED TO MATCH ADJACENT CEILING FINISH - CONFIRM HATCH SIZING WITH MECHANICAL - COORDINATE OPENING WITH TRUSS LAYOUT
- MECHANICAL PLATFORM
- LADDER TO MECHANICAL PLATFORM

CEILING TYPE LEGEND:

- A - GYPSUM BOARD CEILING
- B - 2x2 ACOUSTIC CEILING TILE CEILING
- C - SMOOTH FIBER CEMENT SOFFIT PANEL

CEILING MATERIAL LEGEND:

- GYPSUM BOARD CEILING
- 2X2 ACOUSTIC TILE CEILING GRID
- SMOOTH FIBER CEMENT SOFFIT PANEL TO MATCH EXISTING

LIGHTING LEGEND:

- 1x4 LIGHT FIXTURE
- EMERGENCY LIGHT
- RECESSED LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- 2X2 LIGHT FIXTURE IN ACT GRID
- EXIT SIGN

HVAC LEGEND:

- HVAC SUPPLY AIR DIFFUSER
- HVAC RETURN AIR DIFFUSER
- EXHAUST FAN
- CEILING FAN - PROVIDE BLOCKING SUPPORT AS REQUIRED - VERIFY DESIRED HEIGHT OF FAN BLADES & IF EXTENSION ROD IS REQUIRED.

REVISIONS

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prepared for Bannan Lakes, CDD
BANNON LAKES
 St. Johns County, FL
FITNESS CENTER
 REFLECTED CEILING PLAN



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 JOB NO. 25-28

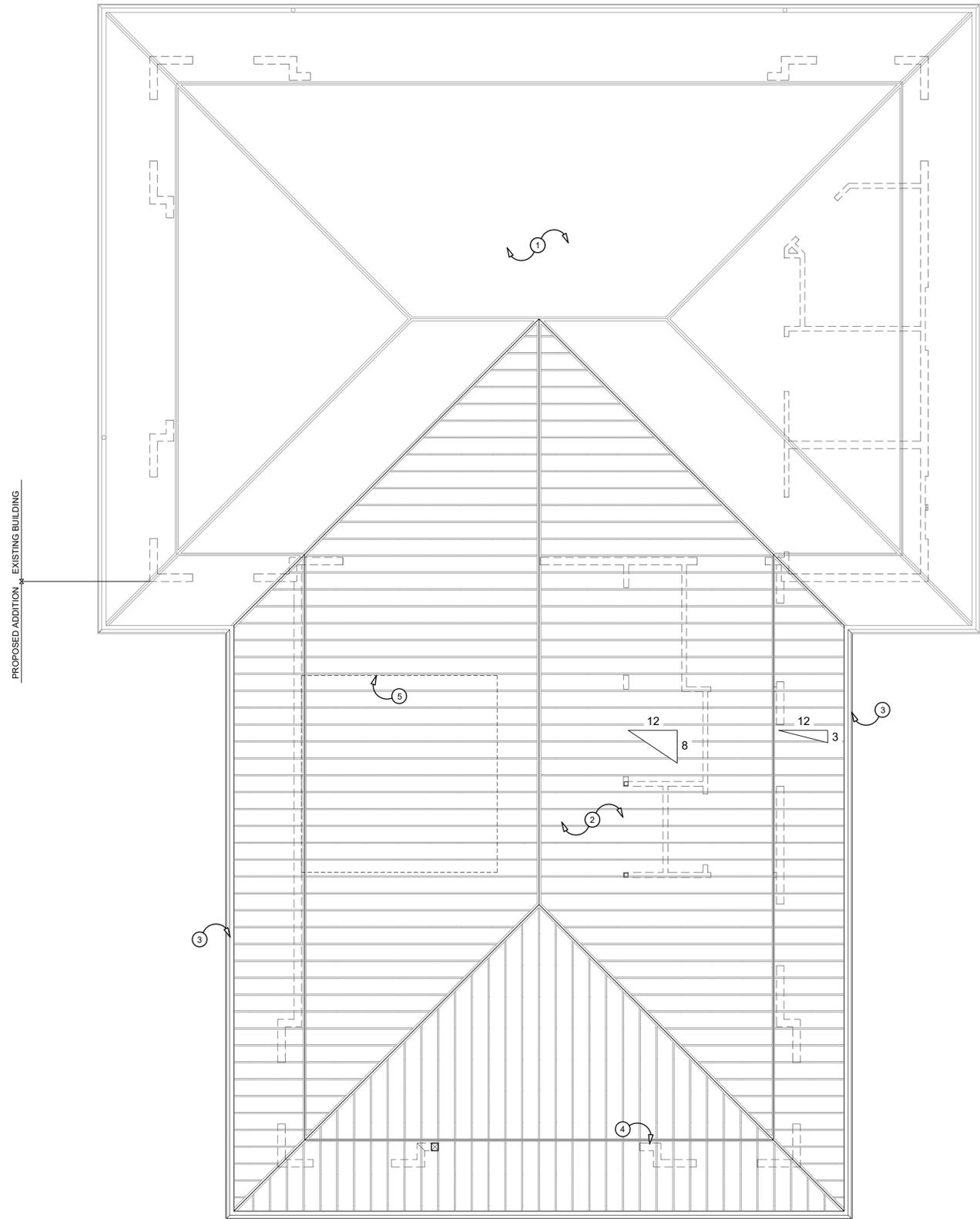
A2.2.1

REVIEW SET



1 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



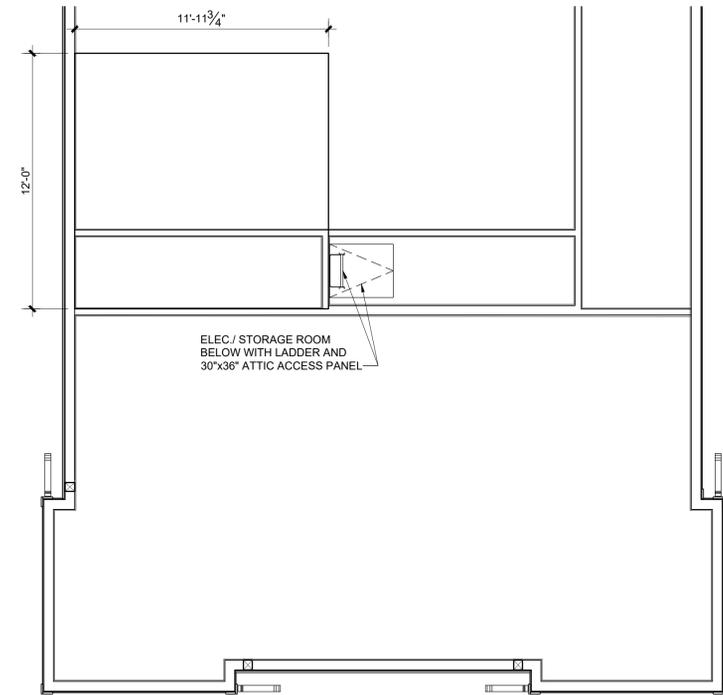
1 ROOF PLAN
SCALE: 1/4" = 1'-0"
NORTH

ROOFING GENERAL NOTES:

1. REFER TO MECHANICAL AND PLUMBING PLANS FOR ROOF PENETRATION LOCATIONS. PAINT ALL ROOF PENETRATION TO MATCH ROOFING MATERIAL.
2. REFER TO BUILDING AND WALL SECTIONS FOR OVERHANG LENGTHS AND TRUSS PROFILES.
3. REFER TO WALL SECTIONS FOR SIZE AND TYPE OF VENTING AT EAVES.
4. --- DENOTES GUTTER WITH DOWNSPOUT. TIE ALL DOWNSPOUTS INTO STORM SEWER, REFER TO CIVIL DRAWINGS.
5. E.F. = EXHAUST FAN - REFER TO MECHANICAL DRAWINGS
6. VTR = VENT THRU ROOF - REFER TO PLUMBING DRAWINGS

KEY NOTES:

1. EXISTING ROOF
2. NEW STANDING SEAM METAL ROOF
3. PREFINISHED GUTTER AND DOWNSPOUTS TO MATCH EXSTING, TIE INTO STORM SEWER, RE: CIVIL
4. OUTLINE OF WALLS BELOW
5. MECHANICAL ATTIC PLATFORM BELOW



2 MECHANICAL ATTIC PLATFORM PLAN
SCALE: 1/4" = 1'-0"

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St. Johns County, FL

FITNESS CENTER

ROOF PLAN



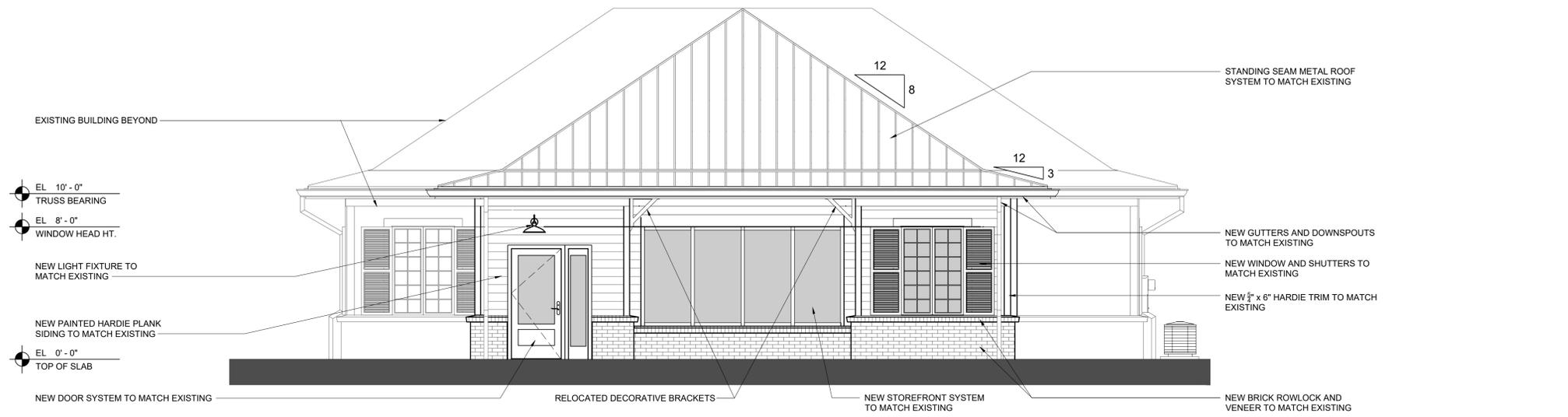
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A2.3.1

REVIEW SET



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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BANNON LAKES
 St. Johns County, FL
FITNESS CENTER
 EXTERIOR ELEVATIONS



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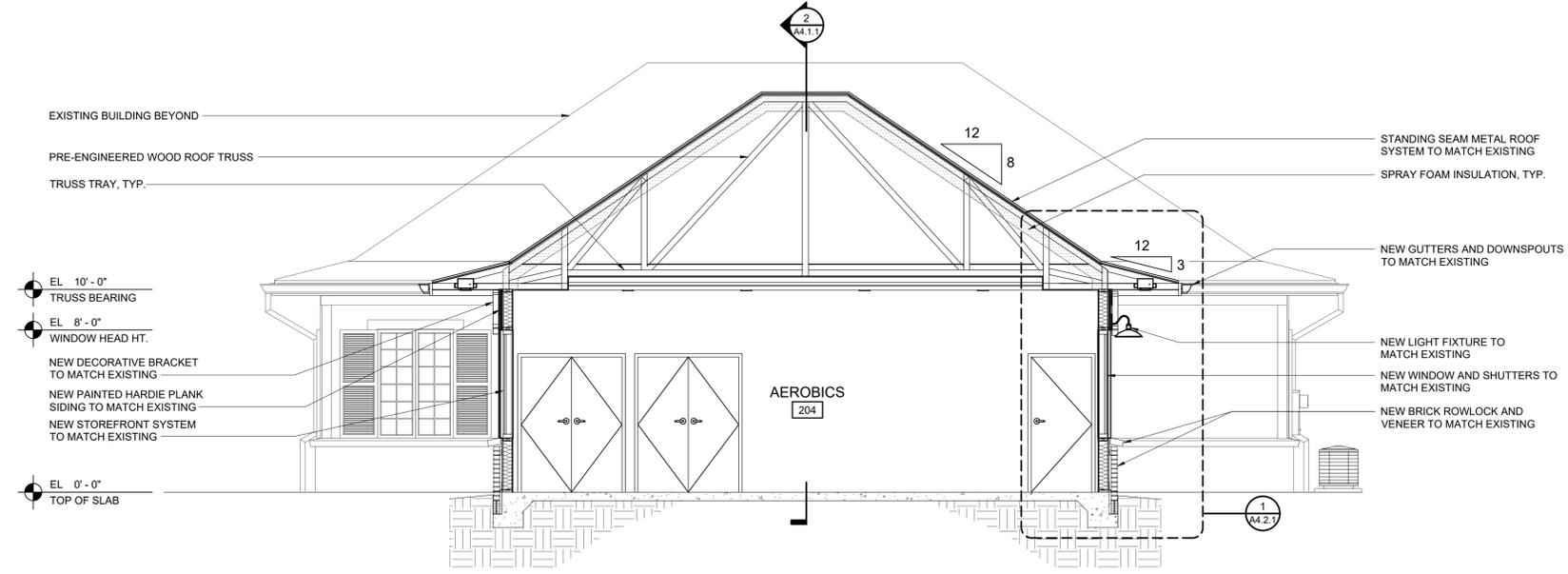
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A3.1.1
 REVIEW SET

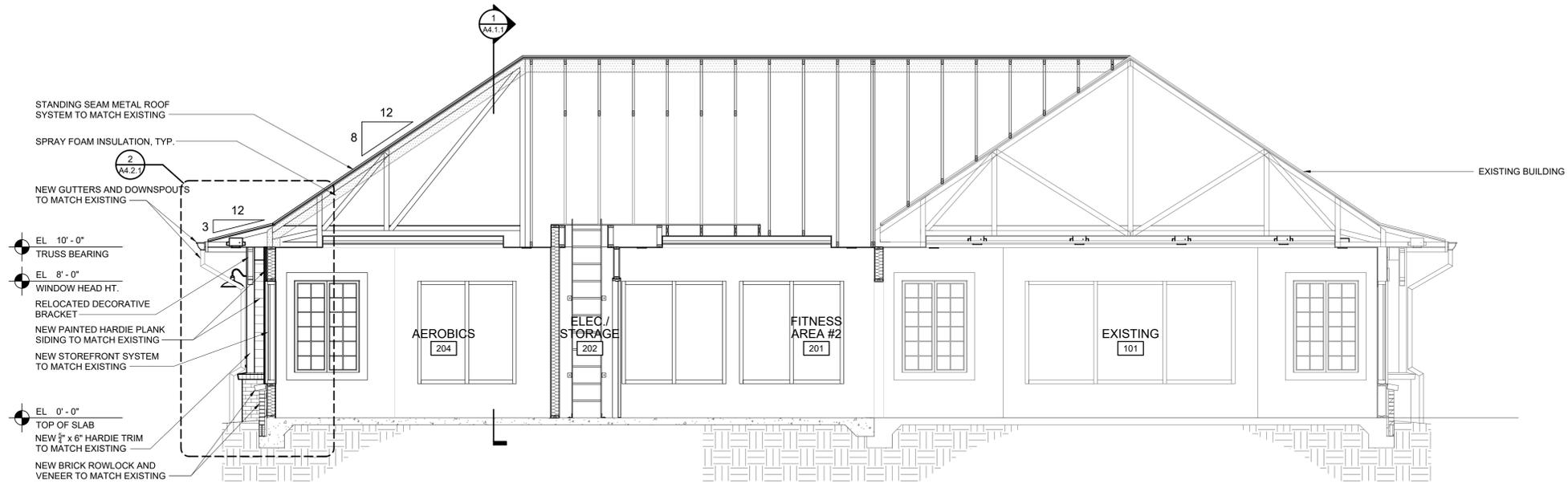
REVISIONS

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1 TRAVERSE BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS



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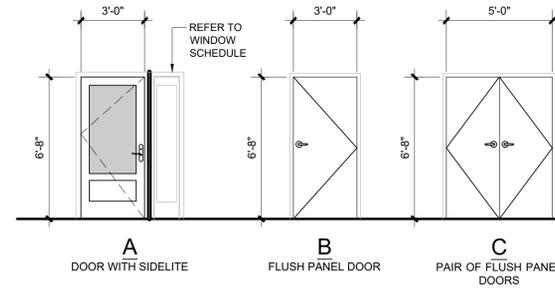
A4.1.1

REVIEW SET

DOOR SCHEDULE													
DOOR NO.	DOOR TYPE	DOOR WIDTH	DOOR HT.	DOOR MAT'L	DOOR FIN.	FRAME MAT'L	FRAME FIN.	FRAME DETAILS			DR LABEL	HW SET	REMARKS
								HEAD	JAMB	SILL			
E201	A	3'-0"	6'-8"	FIBERGLASS / GLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
E202	A	3'-0"	6'-8"	FIBERGLASS / GLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
200	B	3'-0"	6'-8"	FIBERGLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
202A	C	5'-0" (PAIR)	6'-8"	FIBERGLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
202B	C	5'-0" (PAIR)	6'-8"	FIBERGLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
203A	C	5'-0" (PAIR)	6'-8"	FIBERGLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING
203B	C	5'-0" (PAIR)	6'-8"	FIBERGLASS	PREFINISHED	WOOD	PAINT	-	-	-	-		MATCH EXISTING

EXTERIOR DOORS
INTERIOR DOORS

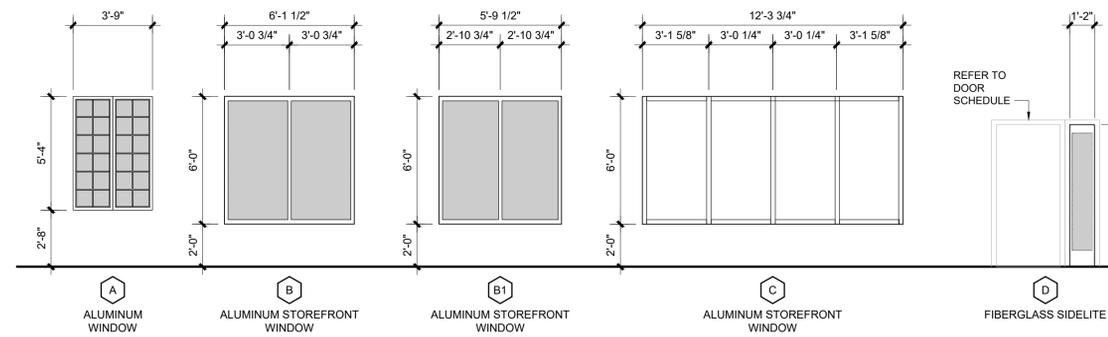
DOOR TYPES



DOOR NOTES

- ALL HARDWARE TO COMPLY WITH ANSI A117.1 - 2017.
- ALL GLAZING IN ALL DOORS AND SIDELITES SHALL BE FULLY TEMPERED UNLESS OTHERWISE NOTED.
- REFER TO SPECIFICATION SECTION 087100 FOR DOOR HARDWARE SETS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. EGRESS DOOR HARDWARE SHALL COMPLY WITH SECTIONS 1010.2.1 THROUGH 1010.2.4 OF THE 2023 FLORIDA BUILDING CODE, 8th EDITION. ENGINEERED SHOP DRAWINGS AND DOCUMENTED DOOR TESTING SHALL BE SUBMITTED FOR REVIEW.
- EXTERIOR DOORS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND IMPACT AND WIND LOADS AS SHOWN ON THE STRUCTURAL DRAWINGS AS DEFINED BY THE 2023 FLORIDA BUILDING CODE, 8th EDITION. ENGINEERED SHOP DRAWINGS AND DOCUMENTED DOOR TESTING SHALL BE SUBMITTED FOR REVIEW.

WINDOW TYPES



WINDOW NOTES

- ALL WINDOW WIDTH & HEIGHT DIMENSIONS ARE GIVEN AS FRAME OPENING SIZES. COORDINATE WITH FLOOR PLANS, SECTIONS AND DETAILS TO FRAME CORRECT ROUGH OR MASONRY OPENING SIZE.
- GENERAL CONTRACTOR TO VERIFY COUNT OF WINDOWS. WINDOW DESIGNATIONS INDICATED OCCURS AT MULTIPLE LOCATIONS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- (T) = FULLY TEMPERED GLASS.
- PRIOR TO INSTALLING SEALANT AND BACKER RODS, ENSURE THAT ALL JOINTS ARE DRY AND FREE FROM DEBRIS.
- COLOR OF SEALANT SHALL MATCH COLOR OF WINDOW FRAME.
- GLAZING IN EXTERIOR STOREFRONTS SHALL BE INSULATED.

REVISIONS

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prepared for Bannan Lakes, CDD
BANNON LAKES
 St. Johns County, FL
FITNESS CENTER
 DOOR SCHEDULE & DETAILS



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A7.2.1
 REVIEW SET

D.



Highland Products Group/The Park Catalog
 931 Village Blvd Ste 905-354
 West Palm Beach, FL 33409
 Phone : 561-620-7878
 Email : sales@theparkcatalog.com

Quote#124670

Sales Rep: Cristy Clinard
 Email: cristy.clinard@theparkcatalog.com
 Phone: 800-695-3503 Ext 60309

Quote Date	Quote Expiration Date
Jan 9, 2026	Feb 7, 2026 (29 days)

Bill to:	Ship to:
Jeff Johnson Bannon Lakes Community Development District 1001 Bradford Way Kingston, Tennessee, 37763 United States T: 904-907-4346	Jeff Johnson Bannon Lakes Community Development District 435 Bannon Lakes Blvd St. Augustine, Florida, 32095 United States T: 904-660-3669 C: 904-759-8061

Product Name	Item #	QTY	Price	Your Price	Unit Discount	Subtotal
5 Bike Sonic Wave Rack (2 3/8" Heavy-Duty) Color: Telegay 4 Mounting Option: Surface Mount	536-1408-1-52	1	\$390.00	\$360.00	\$30.00	\$360.00
9 Bike Sonic Wave Rack (2 3/8" Heavy-Duty) Color: Telegay 4 Mounting Option: In-Ground Mount	536-1412-2-52	1	\$673.00	\$623.00	\$50.00	\$623.00

Quote Notes:

FREIGHT INCLUDES: NOTIFY BEFORE DELIVERY RESIDENTIAL ACCESS

Total Discount	-\$80.00
Subtotal	\$983.00
Shipping & Handling	\$442.00
Tax	\$0.00
Grand Total	\$1,425.00

This quote comes with our BEST PRICE GUARANTEE! If we are not your lowest delivered quote for equivalent product, we will BEAT it! (Exclusions may apply)

Any questions contact us at [800-695-3503](tel:800-695-3503) or cristy.clinard@theparkcatalog.com

PAY NOW
 WITH A CREDIT CARD

Quote Expiration Date: Feb 7, 2026

IF YOUR QUOTE HAS EXPIRED, PLEASE CONTACT YOUR SALES REP BEFORE SUBMITTING PAYMENT

TERMS & CONDITIONS

SHIPPING:

Deliveries are made during normal business hours, 8am - 5pm Monday - Friday. Unless otherwise noted, shipping charges include standard delivery only. Standard delivery charges are for Tailgate delivery to any commercial location on a commercial truck route; the truck driver will not offload the delivery. It is Customers responsibility to provide adequate personnel and/or equipment to unload the shipment from the truck when it arrives. The truck driver is under no obligation to help you unload. If you require anything other than standard delivery, we have the following additional services available for purchase at time of order placement:

Additional Delivery Services

- **Residential Delivery:** If the ship to address is not a commercial location, on a commercial truck route or is in a residential area, you must order "Residential Delivery Service" at an additional charge.
- **Limited Access Delivery:** This is common LTL delivery for small businesses, restaurants, schools, churches, concert venues, theaters, or other locations that do not have a loading dock.
- **Liftgate Service:** This service includes the driver utilizing a lift gate on the rear of the truck. The driver is responsible for lowering your shipment to the ground only. Once delivery is at ground level it is your responsibility to move the shipment from the delivery point to its destination
- **Notify Before Delivery:** Notify before delivery indicates that the receiver needs to be called before arrival. The carrier will call 24-48 hours prior to make a delivery appointment. If the receiver cannot be reached, these shipments can result in significant delays or additional redelivery fees.
- **Inside Delivery:** If this service is required, please reach out to one of our Sales Representative as we cannot be responsible for online quotes with this service. This service requires specifics that must be communicated to the carrier prior to getting a shipping quote.
- **Redelivery Fee:** This charge will occur when a delivery is unsuccessful on the first try and the carrier must try to deliver the shipment a second time. Redeliveries occur within the carrier's available timeframe.
- **Construction Site Delivery:** This charge is for any destination that is under construction and requires an LTL truck to navigate a construction site.

Shipping Service Discrepancies - If there is a discrepancy in the services requested and the minimum services required to deliver the product, the Customer agrees to pay and The Park Catalog reserves the right to charge the customer for any necessary additional services provided at the time of delivery.

Shipment Inspection Required - It is the customer's responsibility to inspect all deliveries for possible damage, correct quantities and to note any discrepancies on the freight bill PRIOR to signing the delivery receipt provided by the driver. All damage claims MUST be recorded on the delivery receipt and reported within 48 hours of delivery. The Park Catalog does NOT GUARANTEE replacements parts or products FREE of charge due to concealed or unreported damages.

Assembly May Be Required:

Most of our product's ship Knocked down and on commercial pallets to minimize freight damages and reduce freight cost.

CANCELLATIONS:

No order can be cancelled unless first authorized and confirmed in writing by The Park Catalog Team. Made-to-Order items already in production may not be cancelled. If a cancellation is authorized, charges may apply based on the stage the order is in.

RETURNS:

We will accept returns of unopened/unused products, up to 30 days from the shipping date, subject to ALL the following terms and conditions:

- **Approval:** Written approval and instructions must be issued by our Customer Service Department before any merchandise can be returned.
- **Shipping Returns:** All merchandise must be returned in its original packaging, freight Prepaid. No Collect shipments are accepted.
- **Re-Stocking & Shipping Fees:** The customer is responsible for a minimum 25% re-stocking fee and all related shipping charges on product returned for reasons other than damage or defect. Original shipping charges will not be refunded.
- **Online Orders:** For online orders, The Park Catalog is not responsible if the customer orders incorrect product or colors. All return and restock fees apply.
- **Personalized** - These items are **NOT** eligible for return unless a defect in manufacturing is presented to us with pictures prior to return.
- **Refunds:** refunds will be issued on returned merchandise **AFTER** shipment is received and inspected at our warehouse and the goods are deemed to be resaleable and free of damages.

Payment options:

Credit Card: To maintain a safe environment for credit card transactions, we utilize a credit card processing company that partners with companies who transmit or process card information in a secure environment which complies with the Payment Card Industry Data Security Standard (PCI DSS). In compliance with the payment card industry data security standards, The Park Catalog cannot accept credit card payment information via Email/Fax/US Mail/Telephone/Voice Mail. A secure payment link will be sent via email to allow your transaction to be completed.

Check: Payable to Highland Products Group or The Park Catalog, 931 Village Blvd Ste 905-354, West Palm Beach, FL 33409

ACH: You will find ACH/Wire information on the pages following your proposal

Purchase Order: We accept purchase orders from Government/Municipal entities, Public Schools, non-private Colleges, and Universities to name a few. All other customer types must speak with a sales representative for qualifications to utilize a purchase order.

Force Majeure:

No Party to this Agreement shall be responsible for any delays or failure to perform any obligation under this agreement due to acts of God, outbreaks, epidemic/pandemic or the spreading of disease or contagion strikes or other disturbances, including, without limitation, war, insurrection, embargoes, governmental restrictions, acts of governments or governmental authorities, and any other cause beyond the control of such party. During an event of force majeure, the Parties' duty to perform obligations shall be suspended.

To accept this proposal:

Sign Here: _____ Date: _____

E.

Solar Powered Flashing LED Traffic Signs

Roadway Signs has partnered with all of the right people to bring affordable, reliable, and easy to install solar powered flashing LED traffic signs to cities and counties nationally. With over 20-years of LED lighting technology experience, Roadway Signs is a one-stop-shop for customers.

Equipment, service and installation is seamless with a dedicated sales representative available throughout the process. We value our customers.

We Specialize in Quality



BS EN 12899-1:2007 CLASS RA1

- Non-critical traffic signs
- Engineer Grade Sheeting (EGP)
- Class RA1 reflective pressure
- Graffiti guard options available
- .063 and .080 aluminum

BS EN 12899-1:2007 CLASS RA2/R2

- High Intensity Prismatic Sheeting (HIP)
- Traffic signs/work zone devices
- Improved long distance and nighttime visibility
- Reflective return of at least 22%

BS EN 12899-1:2007 CLASS R3A, R3B, R3C

- Diamond Grade Prismatic Sheeting (DG3)
- Reflective return of at least 58%
- Higher visibility for critical traffic sign visibility
- Long lasting lifetime value

Our Products

Solar Power LED Technology

- LED Lighting is brighter than most halogens
- They are more efficient than all halogens
- Solar Power LED lighting is 100% the most cost effective, sustainable traffic sign option
- Solar Power works even on a cloudy day
- LED signs improve community safety

EGP Traffic Signs

- Engineer grade prismatic reflective sheeting
- High visibility and all weather performance
- Increased community safety

Sign Posts

- Variety of sign post options including: I-Beam, Round, Square, U-Channel, with installation option



GB, DOT, MUTCD, ASTM, BS EN, OSHA

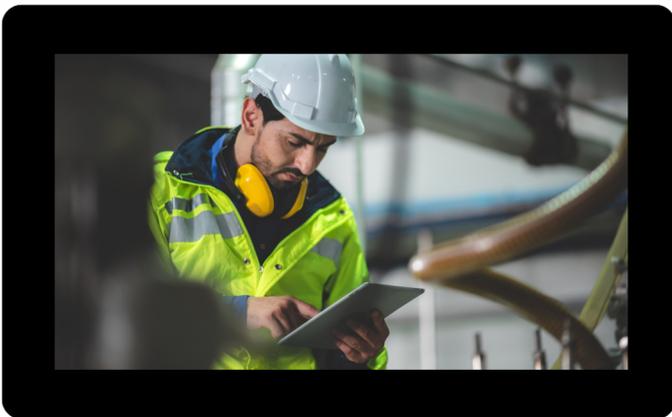
Solar Powered Flashing LED Traffic Signs

We Specialize in Quality

WWW.ROADWAYSIGNS.COM



ROADWAY SIGNS



Sign Installation

Roadway Signs works with everyone from engineers to city managers, and all the staff in-between.

If you don't already know what you're looking for, there are eight different categories of roadway signs. Each sign has unique requirements on size, font, border or outline, shapes, and more.

Our Sales and Installation Professionals help customers find the right direction if they are unsure.

Installation is easy at Roadway Signs! We work with qualified installation specialist to ensure that safety is a priority when transitioning to LED flashing traffic signs.

SAFETY - QUALITY - VALUE ROADWAY SIGNS



REGULATORY



WARNING



GUIDE



SERVICES



CONSTRUCTION



RECREATION



SCHOOL ZONE



INCIDENT

SOLAR LED TRAFFIC SIGNS

Contact Us



sales@roadwaysigns.com

GB, DOT, MUTCD, ASTM, BS EN, OSHA

Solar Powered Flashing LED Traffic Signs



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WWW.ROADWAYSIGNS.COM



ROADWAY SIGNS

1

RED

Regulatory. Mandatory. Prohibitive.

Examples: Stop, Wrong Way, Do Not Enter, Yield

2

ORANGE

Construction. Maintenance. Closures. Road Limitations.

Examples: Roadwork Ahead, Workers Ahead, Road Closed, Shoulder Work, Uneven Pavement, Work Zone

3

YELLOW

Advisory. Warning.

Examples: School Crossing, School, Lane Ending, Sharp Turn Ahead

4

FLUORESCENT YELLOW GREEN

High Emphasis on Area Pedestrians

Examples: schools, Bicycles, Playgrounds, and School Bus Stop

5

PINK

Incident Management

Examples: Motor Vehicle Accident, Oil Spill

6

WHITE

Regulatory.

Examples: Speed Limit, Right Turn Only, Highway Marker

7

GREEN

Guidance. Directional.

Examples: City. County. State.

8

BLUE

Public Services

Examples: Hospital, Parking

9

BROWN

Recreational. Public Interest. Historical. Landmark.

Example: National Forest

Contact Us



sales@roadwaysigns.com

We Specialize in Quality

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ROADWAY SIGNS

SOLAR POWER FLASHING LED RADAR SPEED SIGN

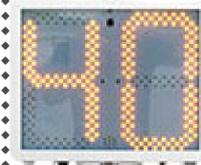


DISPLAY DIMENSIONS

- **MIN 4" Digital Display**
 - Static "Your Speed" Text
 - Ultra Low Power Consumption
- **MID 6" Digital Display**
 - Static "Your Speed" Text
 - Ultra Low Power Consumption
- **FULL 15" Digital Display**
 - Static "Your Speed" Text
 - Ultra Low Power Consumption

SOLAR BATTERY

- Ultra Low Power Consumption
- Solar Compatibility
- Cloud Ready
- Battery Backup
- Universal Mounting
- Trailer Compatibility
- Dolly and Hitch Compatibility
- Assurance Warranty



LED VARIATIONS

- **Variable LED Mode**
 - **Stealth**
 - Collect Baseline Traffic Data
 - **Speed Alert Strobe**
 - Program Strobe at Speed Threshold



SIGN PLATE

- **MIN 30" x 30"**
 - Conventional
 - Single Lane Road
- **MID 36" x 36"**
 - Conventional
 - Multi-Lane Rd and Expressway



Installation

Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, no AC power required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

Contact Us



sales@roadwaysigns.com

We Specialize in Quality

WWW.ROADWAYSIGNS.COM



ROADWAY SIGNS

SOLAR POWERED FLASHING LED STOP SIGN



ROADWAY SIGNS

MUTCD SIZE OPTIONS

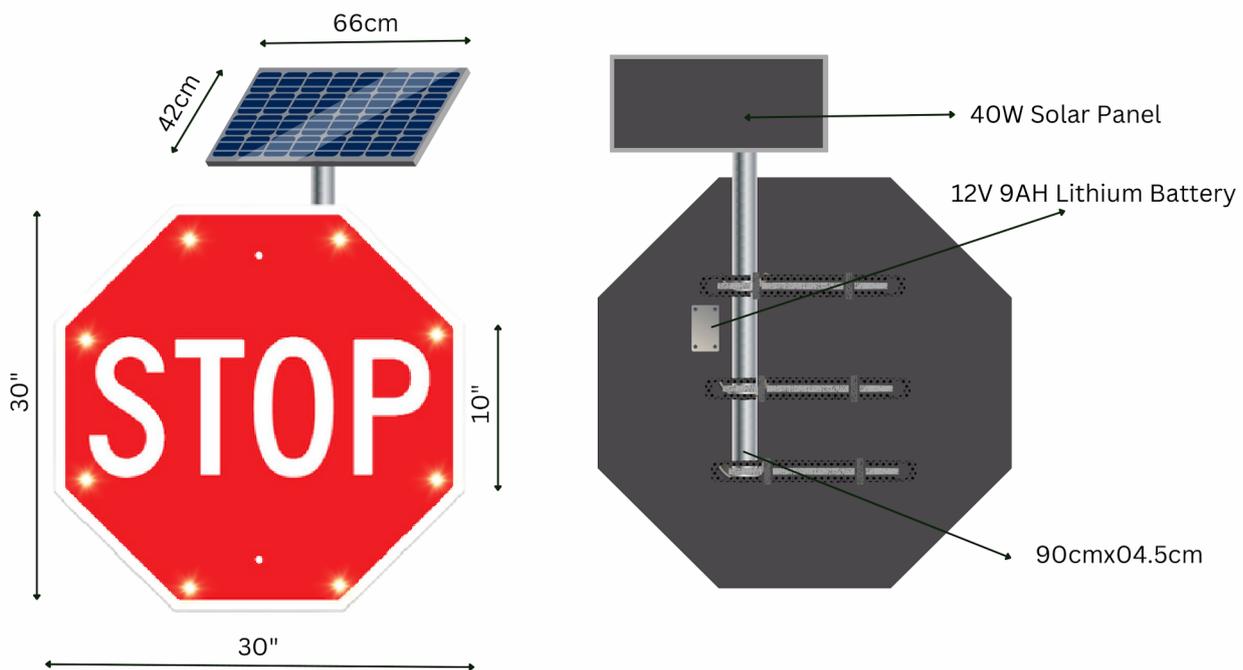
- **MIN 30" x 30"**
 - Conventional
 - Single Lane Road
- **MID 36" x 36"**
 - Conventional
 - Multi-Lane Rd and Expressway
- **OVR 46" x 48"**
 - Oversized
 - Special Application

VISIBILITY RATING

- **Reflective Sheeting**
 - Functional Day or Night
- **Low Power LED technology**
 - Ensures ongoing compliance
- **Highway grade**
 - .080 aluminum
 - construction is weatherproof
 - highly reflective
- **LEDs automatic dim**
 - timed dimming to reduce glare for motorist

SOLAR OPTIONS

- Solar Powered
- Off-grid power generation
- Full charge = 288 flashing hours
- Automatic evening LED dimming
- High intensity LED unison flash one per second
- Activation: Continuous 24/7
- Programmable Timer, or Wireless Push



Installation

Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, AC power available, but not required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

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ROADWAY SIGNS

SOLAR POWERED FLASHING LED CROSSWALK SIGN



MUTCD SIZE OPTIONS

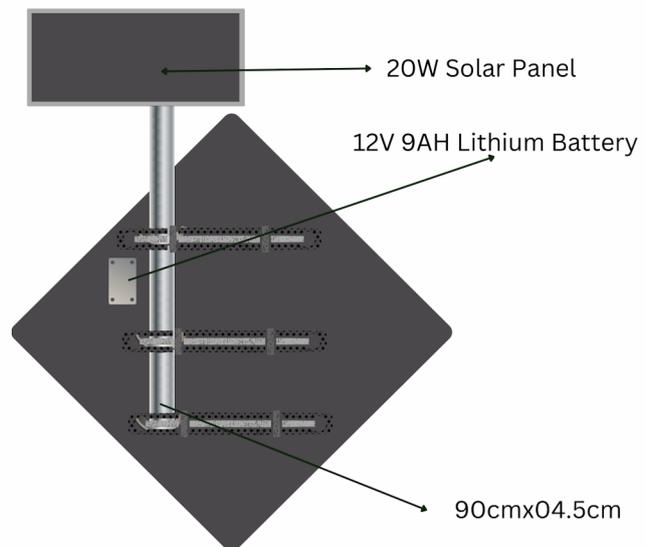
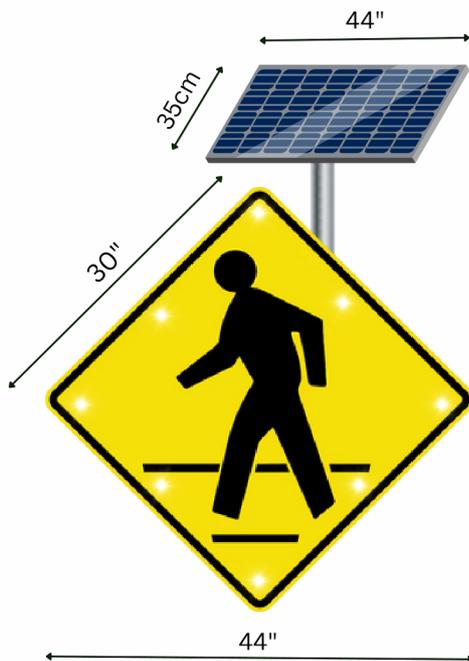
- **MIN 30" x 30"**
 - Conventional
 - Single Lane Road
- **MID 36" x 36"**
 - Conventional
 - Multi-Lane Rd and Expressway
- **OVR 46" x 48"**
 - Oversized
 - Special Application

VISIBILITY RATING

- **Reflective Sheeting**
 - Functional Day or Night
- **Low Power LED technology**
 - Ensures ongoing compliance
- **Highway grade**
 - .080 aluminum
 - construction is weatherproof
 - highly reflective
- **LEDs automatic dim**
 - timed dimming to reduce glare for motorist

SOLAR OPTIONS

- Solar Powered
- Off-grid power generation
- Full charge = 288 flashing hours
- Automatic evening LED dimming
- High intensity LED unison flash one per second
- Activation: Continuous 24/7
- Programmable Timer, or Wireless Push



Installation

Solar Power LED Technology

- MUTCD section 2A.07 and 2A.08 compliant
- High visibility, low power consumption
- Solar powered with battery backup, AC power available, but not required
- Installs easily onto any new or existing sign post
- Options: Continuous 24/7 Flashing, Programmable Timer, or Wireless Push-button
- Fast, easy installation, low maintenance

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International Safety



ROADWAY
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MIXED BUNDLE DISCOUNT ELIGIBLE

STOP SIGN



MIXED BUNDLE DISCOUNT ELIGIBLE

STOP SIGN



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STOP SIGN



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CUSTOM SIGN





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SIGNS**

HOW TO REACH US

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-  720-244-2001
-  sales@roadwaysigns.com
-  Aurora, Colorado, USA
-  Call for Custom Sign Information

Contact Us



sales@roadwaysigns.com

ESTIMATE

EpicStar LED LLC
10940 S Parker Rd
Ste 465
Parker, CO 80134-3961

scott@epicstarled.com
+1 (720) 244-2001

Bill to

Matt Biagetti
Bannon Lakes CDD
475 W Town Place
Ste. 114
St. Augustine, FL 32092

Ship to

Matt Biagetti
Bannon Lakes CDD
475 W Town Place
Ste. 114
St. Augustine, FL 32092

Estimate details

Estimate no.: 1151
Estimate date: 02/03/2026
Expiration date: 03/03/2026

#	Product or service	Description	Qty	Rate	Amount
1.		Roadway Signs (Div of EpicStar LED LLC)			
2.	Solar Radar Speed sign HOA	Roadway Signs (Div of EpicStar LED LLC) Solar Radar Speed Sign Kit Display color: Green, Red (Yellow is available) Electrical (Solar Type) Power Supply: DC12V 80W Solar Module Battery:12V 32AH Speed Range:1Km/h-250Km/h Working Frequency:24.15GHz Antenna angel:30°*16° Voltage:9-24V Current:40mA@12V Sensor size:69*53*10mm. Output power:21dBm Frame size:660mm* 430mm*150mm Parameter setting Bluetooth; Data collection and download: Flash disk & app download LED display size:295mm H *370mm W; 265mm H*370mm W Material: metal plate SLOW DOWN: When the car drives overspeed, SLOW DOWN displayed and flashing.	2	\$2,800.00	\$5,600.00

LED display size:295mm H
 *370mm W; 265mm H*370mm
 W
 Reflective film: 3M IV. (as shown
 in the picture)
 Waterproof Grade:IP55

3.	Radar Speed Sign	Solar Radar Speed Sign Kit 18" x 24" Sign Your Speed / White w/ Black Letters Secure Steel Cabinet w/ Powder Coating Radar Unit Upgraded Solar Panel and Battery 40W / 24Ah 3M Diamond Reflective Film Waterproof Mounting Hardware DOT MUTCD Standard	2	\$3,450.00	\$6,900.00
4.	Shipping	Shipping	2	\$145.00	\$290.00
5.	Sign Post	10 ft. Square Sign Post / 3 ft Underground Base / Bolt Kit Galvanized Steel Telespar with Mounting Holes	2	\$285.00	\$570.00
6.	Shipping	Shipping	2	\$185.00	\$370.00
7.	Speed Limit Sign	Speed Limit Sign 18" x 24" Speed Limit 40 / White w/ Black Letters 3M Diamond Reflective Film	2	\$165.00	\$330.00
8.	Shipping	Shipping	2	\$65.00	\$130.00

Total **\$14,190.00**

Expiry
date 03/03/2026

Accepted date

Accepted by

FIFTH ORDER OF BUSINESS

A.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail LED

Area / Site Luminaire

Product Features



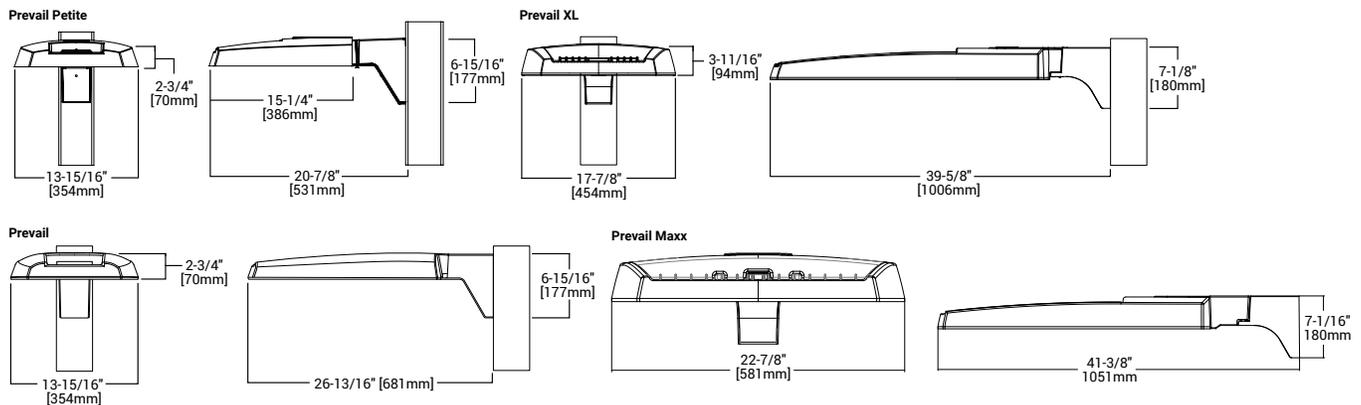
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details



NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Product Certifications



Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-740-D-UNV-T4-SA-BZ

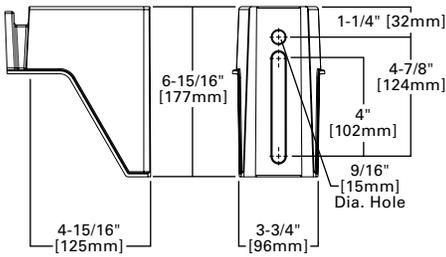
Product Family ^{1,2}	Light Engine ⁴	Color Temperature	Driver	Voltage	Distribution	Mounting	Color
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ³ TAA-PRV-P =Prevail Petite TAA Compliant ³ BABA-PRV-P =Prevail Petite BABA Build America Buy America Act Compliant ³⁰	C10 =(1 LED) 4,900 Nominal Lumens C15 =(1 LED) 6,900 Nominal Lumens C20 =(1 LED) 9,800 Nominal Lumens C25 =(1 LED) 11,800 Nominal Lumens	740 =70CRI, 4000K 727 =70CRI, 2700K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	D =Dimming (0-10V)	UNV =Universal (120-277V) H =High Voltage, 347-480V 8 =480V ⁵ 9 =347V DV =DuraVolt (277-480V) ^{5,6}	T2 =Type II T3 =Type III T4 =Type IV T5 =Type V	SA =QM Standard Versatile Arm MA =QM Mast Arm FMA = Fixed Mast Arm ²⁶ WM =QM Wall Mount Arm ADJA-WM =Adjustable Arm-Wall Mount ²⁸ ADJA =Adjustable Arm-Pole Mount ²⁸ ADJS =Adjustable Arm-Slipfitter, 3" vertical tenon ²⁸ SP2 =adjustable Arm-Slipfitter, 2 3/8" vertical tenon ^{26,28}	BZ =bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
PRV =Prevail BAA-PRV =Prevail BAA Compliant ³ TAA-PRV =Prevail TAA Compliant ³ BABA-PRV =Prevail BABA Build America Buy America Act Compliant ³⁰	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens						
PRV-XL =Prevail XL BAA-PRV-XL =Prevail XL BAA Compliant ³ TAA-PRV-XL =Prevail XL TAA Compliant ³ BABA-PRV-XL =Prevail XL BABA Build America Buy America Act Compliant ³⁰	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens						
PRV-M =Prevail Maxx BAA-PRV-M =Prevail Maxx BAA Compliant ³ TAA-PRV-M =Prevail MaxxTAA Compliant ³ BABA-PRV-M =Prevail Maxx BABA Build America Buy America Act Compliant ³⁰	C200 =(9 LED) 48,000 Nominal Lumens C225 =(9 LED) 56,000 Nominal Lumens C250 =(9 LED) 65,000 Nominal Lumens C275 =(9 LED) 73,000 Nominal Lumens						
Options (Add as Suffix)			Accessories (Order Separately) ^{20,21}				
CC =Coastal Construction finish ⁹ HSS =House Side Shield ⁷ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right 10K =10kV/10kA UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device HA =50°C High Ambient Temperature ⁸ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ FADC =Field Adjustable Dimming Controller ²⁹ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting Height ^{11,12} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting Height ^{11,12} MS/DIM-L40 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{11,12}	SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting Height ^{11,13} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting Height ^{11,13} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting Height ^{11,13,26,27} WPS2XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{11,14,15,16} WPS4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{11,14,15,16} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{11,14,15,16} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{11,14,15,16}	PRVSA-XX =Standard Arm Mounting Kit ²¹ PRVMA-XX =Mast Arm Mounting Kit ²¹ PRVWM-XX =Wall Mount Kit ²¹ PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²¹ PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²¹ PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²¹ PRVXLSA-XX =Standard Arm Mounting Kit ²⁷ PRVXLMA-XX =Mast Arm Mounting Kit ²⁷ PRVXLWM-XX =Wall Mount Kit ²⁷ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁷ PRV-XL-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁷ PRV-XL-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁷ PRV-M-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁶ PRV-M-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁶ PRV-M-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁶ MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon	MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238 =Tenon Adapter from 3" to 2-3/8" PRV/COB-FDV =Full Drop Visor ²² PRVXI/COB-EDV =Full Drop Visor ¹⁷ HS/VERD =House Side Shield Kit ^{7,23} VGS-F/B =Vertical Glare Shield Kit, Front/Back ²³ VGS-SIDE =Vertical Glare Shield Kit, Side ²³ OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁴ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²⁵				
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Standard 4000K CCT and 70CRI. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package. 8. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package. 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR & PER7) or another controls system (MS or SPB). Option not available with DuraVolt (DV) voltage option. 12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 15. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 16. Replace XX with sensor color (WH, BZ, or BK). 17. Only available in PRV-XL configurations C75, C100, C125, C150, or C175. 18. Not available with 347V, 480V, DV, or HA options. 19. Replace XX with paint color. 20. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 21. Not for use with PRV-XL or PRV-M configurations. 22. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 23. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, 6 or 9). 24. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 25. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR & PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Operates on 120-347V input voltages. 26. Only for use with PRV-M configurations. 27. Only for use with PRV-XL configurations. 28. Fixed for PRV-M. 29. Cannot be used with PR7 or other motion response control options 30. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.							

Stock Ordering Information

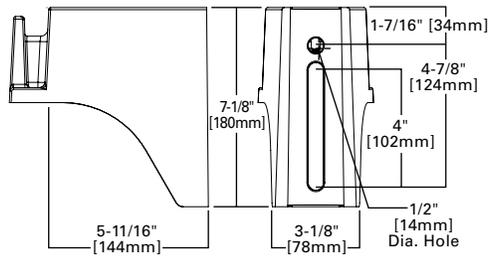
Product Family ¹	Light Engine	Voltage	Distribution
PRVS =Prevail	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens	UNV =Universal (120-277V) 347 =347V ²	T3 =Type III T4 =Type IV
PRVS-XL =Prevail XL	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens		
NOTES: 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.			

Mounting Details

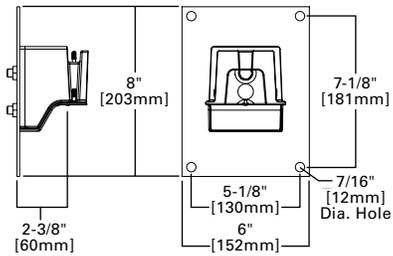
SA=QM Pole Mount Arm (PRV & PRV-P)



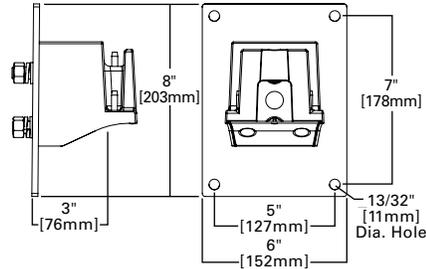
SA=QM Pole Mount Arm (PRV-XL)



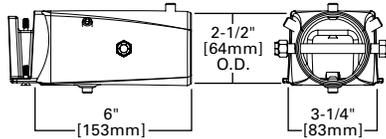
WM=QM Wall Mount Arm (PRV & PRV-P)



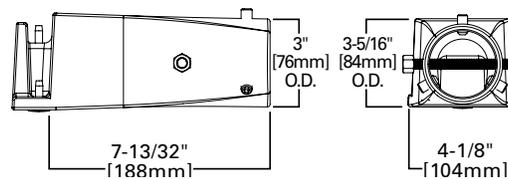
WM=QM Wall Mount Arm (PRV-XL)



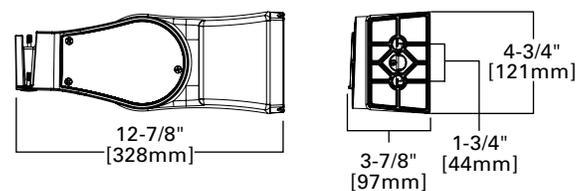
MA=QM Mast Arm (PRV & PRV-P)



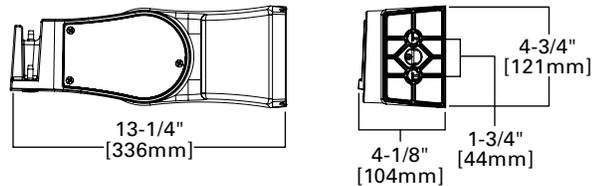
MA=QM Mast Arm (PRV-XL)



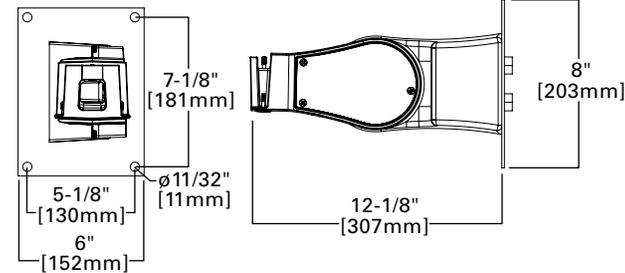
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



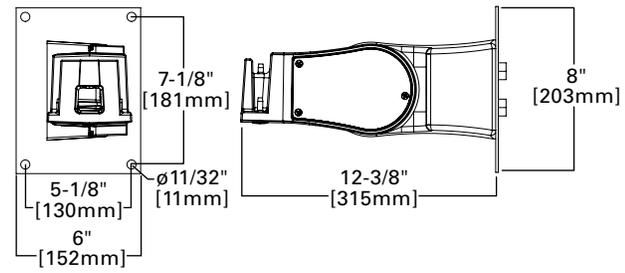
ADJA=Adjustable Arm Pole Mount (PRV-XL)



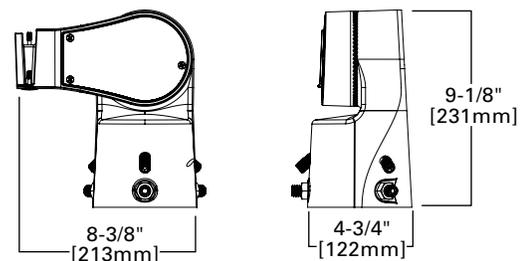
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



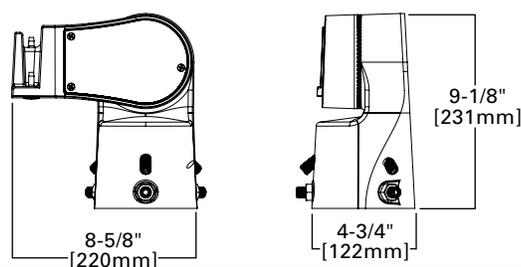
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

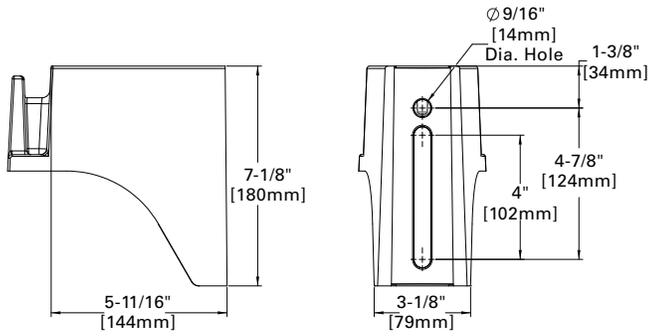


ADJS=Adjustable Slipfitter 3 (PRV-XL)

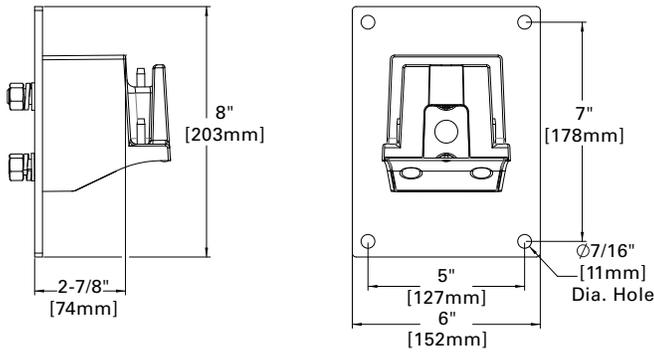


Mounting Details

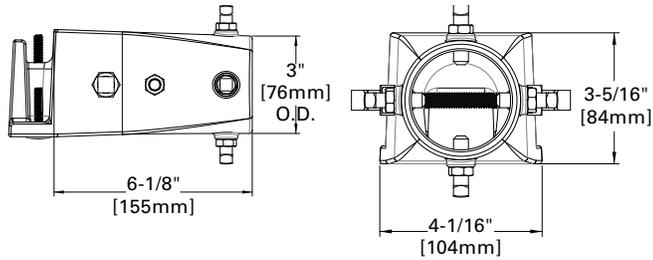
SA=QM Pole Mount Arm (PRV-M)



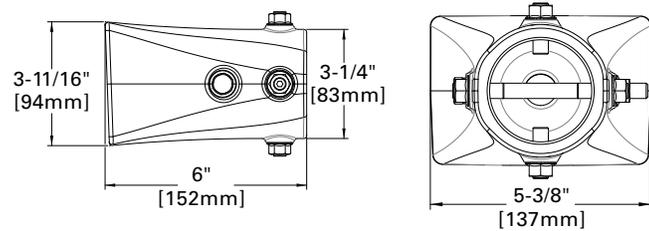
WM=QM Wall Mount Arm (PRV-M)



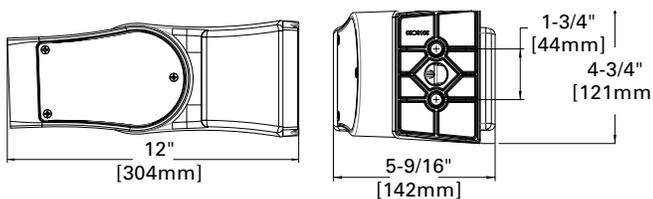
MA=QM Mast Arm (PRV-M)



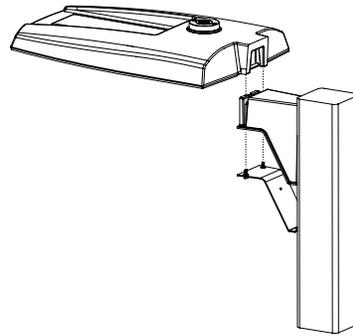
FMA=Fixed Mast Arm (PRV-M)



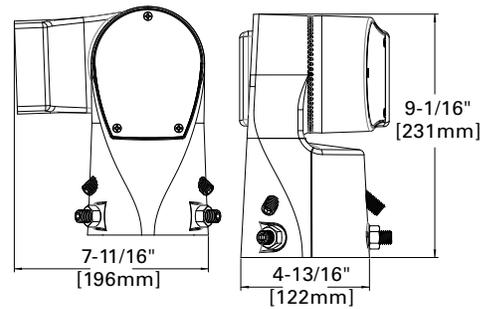
DM=Direct Pole Mount Arm (PRV-M)



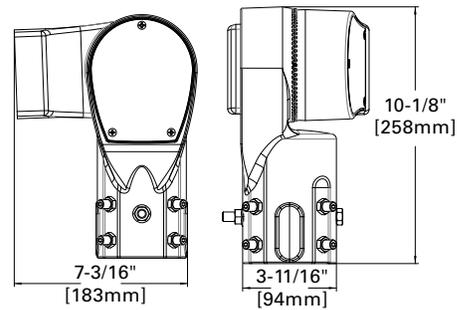
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)



Mounting Details

Mounting Configurations and EPAs

Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

Optical Configurations

PRV-P-C10/C15/C20/C25
(4,900/6,900/9,800/11,800
Nominal Lumens)



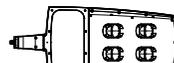
PRV-C15
(7,100 Nominal Lumens)



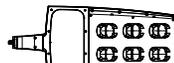
PRV-C25/C40/C60
(13,100/17,100/20,000
Nominal Lumens)



PRV-XL-C75/C100/C125
(26,100/31,000/36,300 Nominal Lumens)



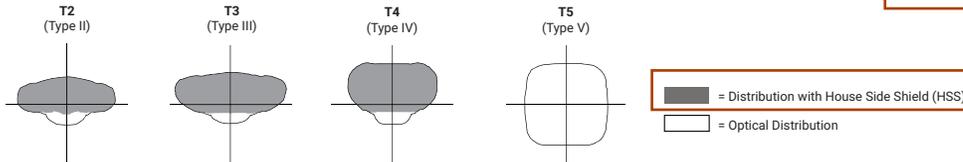
PRV-XL-C150/C175
(41,100/48,600 Nominal Lumens)



PRV-M-PA6X
(50,000/60,000/70,000/80,000 Nominal Lumens)



Optical Distributions



Product Specifications

Optics

- Precision molded polycarbonate optics

Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Physical Characteristics

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)
- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only

Controls

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

Compliance

- DarkSky approved for 3000K CCT and warmer, with mounting options less than 10° of tilt.
- DLC and DLC Premium listed – visit designlights.org to confirm listed variations
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated
- BAA domestic preference option meets BAA requirements. See DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams. Please refer to the DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Typical Applications

- Parking lots
- Walkways
- Roadways
- Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Power and Lumens

Product Family	Prevail Petite				Prevail				Prevail XL				Prevail Maxx					
Light Engine	C10	C15	C20	C25	C15	C25	C40	C60	C75	C100	C125	C150	C175	C200	C225	C250	C275	
Power (Watts)	35	49	73	94	52	96	131	153	176	217	264	285	346	346	418	487	588	
Input Current @ 120V (A)	0.29	0.41	0.61	0.79	0.43	0.80	1.09	1.32	1.50	1.84	2.21	2.38	2.92	2.89	3.49	4.06	4.90	
Input Current @ 277V (A)	0.13	0.18	0.27	0.35	0.19	0.35	0.48	0.57	0.66	0.82	0.97	1.04	1.25	1.26	1.51	1.72	2.06	
Input Current @ 347V (A)	0.11	0.16	0.23	0.29	0.17	0.30	0.41	0.48	0.54	0.66	0.79	0.84	1.02	1.00	1.21	1.40	1.70	
Input Current @ 480V (A)	0.08	0.12	0.17	0.22	0.12	0.22	0.30	0.35	0.40	0.48	0.57	0.62	0.74	0.73	0.88	1.00	1.21	
Distribution ¹																		
Type II	4000K Lumens	4,775	6,717	9,542	11,521	7,123	13,205	17,172	20,083	26,263	31,231	36,503	41,349	48,876	50,349	59,444	68,447	79,322
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	122	137	138	131	131	149	144	138	145	141	146	142	141	135
	3000K Lumens ¹	4,869	6,595	9,369	11,312	6,994	12,965	16,860	19,718	25,786	30,664	35,840	40,598	47,989	49,437	58,368	67,208	77,886
Type III	4000K Lumens	4,782	6,727	9,556	11,538	7,111	13,183	17,144	20,050	26,120	31,061	36,304	41,124	48,610	50,162	59,223	68,193	79,027
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	138	137	131	123	137	137	131	131	148	143	138	144	140	145	142	140	135
	3000K Lumens ¹	4,695	6,605	9,383	11,329	6,982	12,944	16,832	19,686	25,646	30,497	35,645	40,377	47,727	49,254	58,151	66,958	77,596
Type IV	4000K Lumens	4,880	6,865	9,752	11,774	7,088	13,140	17,087	19,984	26,098	31,035	36,274	41,089	48,569	50,575	59,711	68,754	79,678
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
	Lumens per Watt	141	140	134	125	136	137	130	131	148	143	137	144	140	146	143	141	136
	3000K Lumens ¹	4,792	6,740	9,575	11,561	6,959	12,901	16,777	19,621	25,624	30,471	35,615	40,343	47,687	49,659	58,630	67,510	78,235
Type V	4000K Lumens	5,067	7,128	10,126	12,226	7,576	14,045	18,264	21,360	28,129	33,450	39,097	44,287	52,349	53,531	63,201	72,773	84,335
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	145	139	130	146	146	139	140	160	154	148	155	151	155	151	150	144
	3000K Lumens ¹	4,975	6,999	9,942	12,004	7,438	13,790	17,932	20,972	27,618	32,843	38,387	43,483	51,398	52,562	62,057	71,455	82,808

NOTES:
1. For 3000K, 5000K or HSS data, refer to published IES files.

B.



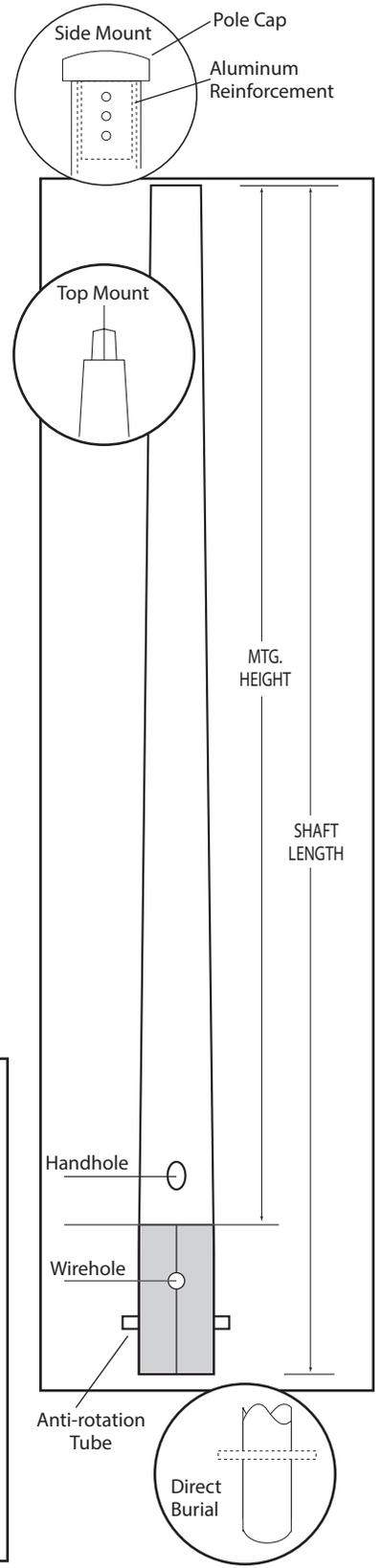
Bannon Lakes Court Lighting
FL-325-T-4-BRN-H2

Direct Burial

Composite Light Poles

Florida Series 140 mph

300 Series								
Model No.	Nominal Mtg. Ht. (Ft)	Burial Depth (Ft)	Shaft Length (Ft)	Nominal Pole Weight	Tip O.D. (In)	Nominal Ground Level O.D. (In)	Maximum Allowable Weight	Maximum EPA* 140 MPH
FL-D320	20	5	25	66	4.4	6.5	50	3
FL-D325	25	6	31	88	4.5	6.75	70	3
FL-D330	30	6	36	131	5.5	8.5	90	3
500 Series								
Model No.	Nominal Mtg. Ht. (Ft)	Burial Depth (Ft)	Shaft Length (Ft)	Nominal Pole Weight	Tip O.D. (In)	Nominal Ground Level O.D. (In)	Maximum Allowable Weight	Maximum EPA* 140 MPH
FL-D520	20	5	25	87	5.3	8.5	60	5
FL-D525	25	6	31	112	5.5	8.5	80	5
FL-D530	30	6	36	155	5.5	8.5	100	5
700 Series								
Model No.	Nominal Mtg. Ht. (Ft)	Burial Depth (Ft)	Shaft Length (Ft)	Nominal Pole Weight	Tip O.D. (In)	Nominal Ground Level O.D. (In)	Maximum Allowable Weight	Maximum EPA* 140 MPH
FL-D720	20	5	25	89	5.5	8.5	70	7
FL-D725	25	6	31	128	5.5	8.5	90	7
FL-D730	30	6	36	180	5.5	8.5	110	7



Notes:

* EPA recommendations are calculated per AASHTO standards and include a 30% gust factor.

Standard features

- 2 3/8" tenon for top mounted luminaire
- non-conductive pole cap for side mounted luminaire
- 2 1/2" x 5" handhole with non-conductive door to match light pole
- 1 3/8" nylon grommeted conductor hole below ground
- anti-rotational tube
- standard colors include dark bronze, gray, black and white

Optional features

- 3" tenon for top mounted luminaire
- 4" tenon for top mounted luminaire
- custom colors
- contact PLP for additional options

Specifications:

Provide a Fiber-Reinforced Composite (FRC) Light Pole Model # _____ as manufactured by PLP Composite Technologies, Inc., Fitzwilliam, NH 03447. The light pole shall be constructed of polyester resin and fiberglass woven roving with more than 75% of the reinforcing fiberglass in the axial vertical plane. The pole shall be engineered and manufactured to have an EPA rating of _____ in winds of 140 MPH with a gust factor of 1.3.

The pole shall be direct burial style with a mounting height of _____', and an overall length of _____' allowing for _____' to be below grade. The tip diameter will be _____" and the base diameter _____". An anti-rotational device shall be located above the butt of the pole, consisting of a tube extending out from each side of the pole. The pole shall be equipped with a 1 3/8" nylon grommeted hole two feet below grade.

It shall be round with a classical ENTASIS taper, with a smooth surface satin brush acrylic finish. The color shall be _____.

The pole shall have a 2 1/2" x 5" handhole with a nonconductive door, including vandal resistant screws.

SELECT MOUNT TYPE:

Top Mount Type

The pole shall be a top mount with:

Tenon options:

2 3/8" O.D. x 4 5/8" long

3" O.D. x 4 5/8" long

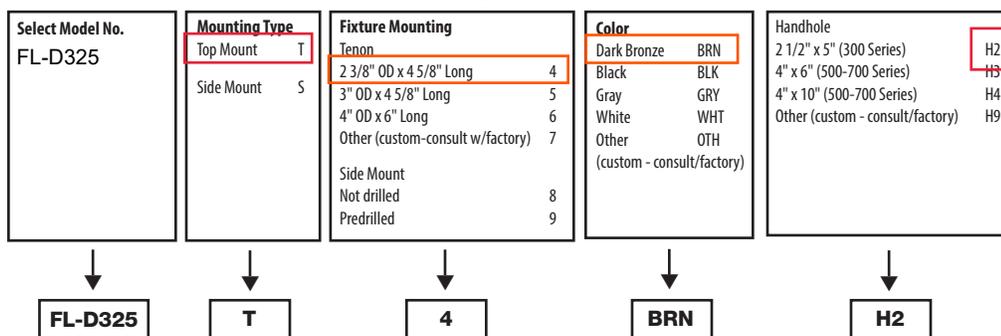
4" O.D. x 6" long

other

Side Mount Type

The pole shall be reinforced with an aluminum sleeve to support bolting. The manufacturer will/will not be required to drill according to luminaire manufacturer's provided template. The pole shall be equipped with a nonconductive pole cap.

Model Number Order Code System



PLP Composite Technologies, Inc.

57 Creamery Road • PO Box 429 • Fitzwilliam, NH 03447 • Tel: 603-585-9100 • Fax: 603-585-3470 • www.plpcomp.com

C.

Smith Electrical Inc.
 PO Box 9023
 St Augustine, FL 32085

Estimate

Estimate #	Date
435 Bannon	1/28/2026

Name / Address
Bannon Lakes CDD Board and Staff 435 Bannon Lakes Blvd St Augustine, FL 32095 jjohnson@rmsnf.com

Item	Description	Qty	Rate	Total
Quote	Supply and install (8) 25' fiberglass poles, (9) LED Aerial light fixtures, mounting hardware, PVC conduit, wiring, breaker and time clock.		41,879.59	41,879.59
Permits	Included			
Extras	IF needed shield attachment to block stray lighting \$200 per fixture			

All material is guaranteed to be as specified. All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard practices. Any variation or deviation from above specifications involving extra costs will be	Total	\$41,879.59
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executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owners to carry fire, tornado and other necessary insurance.

Signature _____

Phone #	Fax #	E-mail	Web Site
9048290899	904-829-0259	smithelectric08@gmail.com	staugustineelectric.com

SIXTH ORDER OF BUSINESS



The Lake Doctors, Inc.
Aquatic Management Services

The Lake Doctors, Inc
Jacksonville Branch
11621 Columbia Park Drive West
Jacksonville, FL 32258
904-262-5500
jacksonville@lakedoctors.com

Water Management Exhibit

MAS/723475R

This Agreement, made this _____ day of _____, 20____ is between The Lake Doctors, Inc., a Florida Corporation, hereinafter called "THE LAKE DOCTORS" and

PROPERTY NAME (Community/Business/Individual) Bannon Lakes Community Development District

MANAGEMENT COMPANY Riverside Management Service of North Florida

INVOICING ADDRESS 475 West Town Place, Suite 114

CITY St. Augustine **STATE** Florida **ZIP** 32092 **PHONE ()** 904-759-8061

EMAIL ADDRESS jjohnson@rmsnf.com **EMAIL INVOICE: YES OR NO**

THIRD PARTY COMPLIANCE/REGISTRATION: YES OR NO THIRD PARTY INVOICING PORTAL: YES OR NO

***If a Third Party Compliance/Registration or an Invoice Portal is required; it is the customer's responsibility to provide the information.*

Hereinafter called "CUSTOMER"

REQUESTED START DATE: _____

PURCHASE ORDER #: _____

The parties hereto agree to the following:

A. THE LAKE DOCTORS agrees to manage certain lakes and/or waterways for a period of twelve (12) months from the date of execution of this Agreement in accordance with the terms and conditions of this Agreement in the following location(s):

Six (6) lakes associated with Bannon Lakes Community Development District, St. Johns Florida.

Includes a minimum of twelve (12) inspections and/or treatments, as necessary, for control and prevention of noxious aquatic weeds/algae. The **Term of this agreement shall be October 1, 2025 through September 30, 2026.** Service will continue month-to-month until receipt of an executed or amended agreement or notice of cancellation.

B. CUSTOMER agrees to pay THE LAKE DOCTORS, its agents or assigns, the following sum for specified aquatic management services:

1. Underwater and Floating Vegetation Control Program	\$	<u>820.00 Monthly</u>
2. Shoreline Grass and Brush Control Program	\$	<u>INCLUDED</u>
3. Additional Treatments, if Required	\$	<u>INCLUDED</u>
4. Free Callback Service	\$	<u>INCLUDED</u>
5. Monthly Service Reporting	\$	<u>INCLUDED</u>
6. Water quality testing and analysis, as required.	\$	<u>INCLUDED</u>
Total of Services Accepted	\$	<u>820.00 Monthly</u>

\$0.00 of the above sum-total shall be due and payable upon execution of this Agreement, the balance shall be payable in monthly installments of **\$820.00 monthly**, including sales use taxes, fees or charges that are imposed by any governmental body relating to the service provided under this Agreement.

C. THE LAKE DOCTORS uses products which, in its sole discretion, will provide effective and safe results.

D. THE LAKE DOCTORS agrees to commence treatment within **fifteen (15)** business days, weather permitting, from the date of receipt of this executed Agreement plus initial deposit and/or required government permits.

E. The offer contained herein is withdrawn and this Agreement shall have no further force and effect unless executed and returned by CUSTOMER to THE LAKE DOCTORS on or before **NA**.

THE LAKE DOCTORS, INC.

CUSTOMER

Mark Seymour, Sales Manager

Signed _____ Dated _____
Name _____

SEVENTH ORDER OF BUSINESS

D.



Amenity & Operations Manager's Reports

Date of report: 2/17/2026

Submitted by: Emily Wright

Amenity Manager Updates

CLUBS/PROGRAMS ACTIVE AT BANNON LAKES

- Monday: Yoga 10:00-11:00 am
Mahjong 1:00pm-5:00pm
- Tuesday: Book Club 7:00pm-10:00pm (2nd Tuesday Monthly)
- Wednesday: Women's Card Club 1:00pm-5:00pm
Men's Card Club 5:30-9:00 pm
Zumba 6:00pm-7:00pm
- Thursday: Games Club 1:00pm-5:00pm
- Friday: Yoga 10:00-11:00 am
Bunco 7:00pm-10:00pm (2nd Friday Monthly)
- Saturday: Zumba 9:00am-10:00pm

Upcoming & Completed Events

- February 13th – Valentine's Craft Day 1:00pm-4:00pm
- March 14th – Murder Mystery 4:00pm-6:00pm
- March 21st – Spring/Easter Event 10:00am-1:00pm

Operations Manager Updates

Completed Projects

◇ Benches and shade structure in dog park are installed and completed; the playground shade structure columns have been installed and now we are waiting for the shade to be made and then installed

◇ Mulch has been installed throughout the community

◇ Installed new plumbing for urinals in men's bathroom

◇ New signage has been installed in pool area

◇ Continued Treatment of all CDD Ponds (algae concerns)

◇ Onsite staff continues to work to deter Ducks and Geese from the Amenity Center

TENTH ORDER OF BUSINESS

A.

Bannon Lakes
Community Development District

Unaudited Financial Reporting
January 31, 2026



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7	<u>Debt Service Fund Series 2021</u>
8	<u>Debt Service Fund Series 2022</u>
9	<u>Capital Project Funds</u>
10	<u>Capital Reserve Fund</u>
11	<u>Long Term Debt Report</u>
12	<u>Assessment Receipt Schedule</u>
13	<u>Check Register Summary</u>

Bannon Lakes
Community Development District
Combined Balance Sheet
January 31, 2026

	General Fund	Debt Service Fund	Capital Project Fund	Capital Reserve Fund	Totals Governmental Funds
Assets:					
Cash:					
Operating Account - Hancock	\$ 834,849	\$ -	\$ -	\$ 6,482	\$ 841,331
Due from General Fund	-	3,645	-	-	3,645
Due from Capital Fund	-	-	-	-	-
Due from Developer	-	-	-	-	-
Due from Capital Reserve	23,021	-	-	-	23,021
Due from Governmental Units	-	-	-	-	-
Investments:					
State Board of Administration (SBA)	79,323	-	-	914	80,237
Series 2016					
Reserve	-	370,375	-	-	370,375
Interest	-	-	-	-	-
Sinking	-	-	-	-	-
Revenue	-	786,031	-	-	786,031
Prepayment	-	-	-	-	-
Construction	-	-	-	-	-
Series 2021					
Reserve	-	206,950	-	-	206,950
Interest	-	88	-	-	88
Prepayment	-	6	-	-	6
Revenue	-	411,513	-	-	411,513
Sinking	-	550	-	-	550
Construction	-	-	32,017	-	32,017
Series 2022					
Reserve	-	259,400	-	-	259,400
Revenue	-	120	-	-	120
Interest	-	475,635	-	-	475,635
Prepayment	-	4	-	-	4
Sinking	-	602	-	-	602
Construction	-	-	909,704	-	909,704
Prepaid Expenses	5,734	-	-	-	5,734
Deposits	50	-	-	-	50
Total Assets	\$ 942,978	\$ 2,514,919	\$ 941,721	\$ 7,396	\$ 4,407,014
Liabilities:					
Accounts Payable	\$ 9,533	\$ -	\$ -	\$ -	\$ 9,533
Accrued Expenses	-	-	-	-	-
FICA Payable	-	-	-	-	-
Deferred Revenue	-	-	-	-	-
Due to General Fund	-	-	-	23,021	23,021
Due to Capital Reserve	-	-	-	-	-
Due to Other	-	-	-	6,000	6,000
Due to Debt Service - Series 2016	1,609	-	-	-	1,609
Due to Debt Service - Series 2021	907	-	-	-	907
Due to Debt Service - Series 2022	1,129	-	-	-	1,129
Total Liabilities	\$ 13,178	\$ -	\$ -	\$ 29,021	\$ 42,199
Fund Balance:					
Nonspendable:					
Prepaid Items	\$ 5,734	\$ -	-	-	\$ 5,734
Deposits	50	-	-	-	50
Restricted for:					
Debt Service	-	2,514,919	-	-	2,514,919
Capital Project	-	-	941,721	-	941,721
Assigned for:					
Capital Reserve Fund	-	-	-	(21,625)	(21,625)
Capital Reserves	-	-	-	-	-
Unassigned	924,015	-	-	-	924,015
Total Fund Balances	\$ 929,800	\$ 2,514,919	\$ 941,721	\$ (21,625)	\$ 4,364,816
Total Liabilities & Fund Balance	\$ 942,978	\$ 2,514,919	\$ 941,721	\$ 7,396	\$ 4,407,014

Bannon Lakes

Community Development District

General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance

For The Period Ending January 31, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 01/31/26	Thru 01/31/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 1,087,348	\$ 871,086	\$ 871,086	\$ -
Interest	15,000	5,000	1,431	(3,569)
Facility Revenue	2,500	1,575	1,575	-
Commercial	2,436	-	-	-
Total Revenues	\$ 1,107,284	\$ 877,661	\$ 874,141	\$ (3,520)
Expenditures:				
General & Administrative:				
Supervisor Fees	\$ 12,000	4,000	\$ 3,600	\$ 400
PR-FICA	918	306	275	31
Engineering	10,000	3,333	620	2,713
Attorney	18,000	6,000	1,354	4,646
Annual Audit	4,015	-	-	-
Assessment Administration	8,348	8,348	8,348	-
Arbitrage Rebate	1,800	1,350	1,350	-
Dissemination Agent	10,029	3,343	3,343	-
Trustee Fees	18,700	17,916	17,916	-
Management Fees	57,974	19,325	19,325	-
Information Technology	2,123	708	708	-
Website Maintenance	1,415	472	472	-
Telephone	200	67	176	(109)
Postage & Delivery	750	250	776	(526)
Meeting Room Rental	1,000	333	-	333
Insurance General Liability/Public Officials	8,971	8,971	7,885	1,086
Printing & Binding	1,000	333	216	118
Legal Advertising	1,000	333	276	57
Other Current Charges	500	167	283	(116)
Office Supplies	250	83	2	81
Dues, Licenses & Subscriptions	175	175	175	-
Total General & Administrative	\$ 159,167	\$ 75,813	\$ 67,099	\$ 8,714

Bannon Lakes

Community Development District General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance For The Period Ending January 31, 2026

	Adopted Budget	Prorated Budget Thru 01/31/26	Actual Thru 01/31/26	Variance
<u>Operations & Maintenance</u>				
Amenity Center Expenditures				
Insurance	\$ 30,581	\$ 30,581	\$ 27,946	\$ 2,635
Utilities				
Phone/Internet/Cable	4,300	1,433	1,272	162
Electric	25,000	8,333	6,971	1,362
Water/Irrigation	15,000	5,000	3,390	1,610
Refuse	4,266	1,422	1,432	(10)
Security				
Security Monitoring	6,694	2,298	2,298	-
Off-Duty Security - RollKall	12,000	4,000	10,818	(6,818)
Access Cards	1,000	-	-	-
Management Contracts				
Facility Management	81,467	27,156	27,156	-
Facility Attendant	8,820	2,940	309	2,631
Field Mgmt / Admin	30,000	10,000	10,000	-
Pool Maintenance	14,865	4,955	4,955	-
Pool Chemicals	12,679	4,226	3,239	988
Janitorial	10,188	3,396	3,276	120
Janitorial Supplies	1,840	613	-	613
Facility Maintenance	40,000	13,333	10,688	2,645
Repairs & Maintenance	55,000	18,333	10,787	7,546
Special Events	15,000	2,318	2,318	-
Holiday Decorations	5,000	3,925	3,925	-
Fitness Center Repairs/Supplies	7,000	2,333	1,921	412
Office Supplies	1,500	500	866	(366)
ASCAP/BMI Licenses	500	-	-	-
Pest Control	3,800	1,267	1,040	227
Nuisance Animal Control	4,788	2,796	2,796	-
Subtotal Amenity Center Expenditures	\$ 391,288	\$ 151,160	\$ 137,404	\$ 13,756
Grounds Maintenance				
Hydrology Quality/Mitigation	\$ 28,000	\$ 6,900	\$ 6,900	\$ -
Landscape Maintenance	188,916	62,972	62,972	-
Landscape Contingency	45,000	1,357	1,357	-
Tree Removals	15,000	-	-	-
Lake Maintenance	10,234	3,411	3,280	131
Grounds Maintenance	19,600	5,911	5,911	-
Pump Repairs	10,000	-	-	-
Streetlights	13,000	4,333	4,048	285
Streetlight Repairs	5,000	-	-	-
Irrigation Repairs	15,000	9,694	9,694	-
Miscellaneous	5,000	-	-	-
Reclaim Water	40,000	13,333	15,384	(2,051)
Storm Cleanup	4,000	-	-	-
Capital Reserve	158,079	-	-	-
Subtotal Grounds Maintenance	\$ 556,829	\$ 107,911	\$ 109,546	\$ (1,635)
Total Operations & Maintenance	\$ 948,117	\$ 259,071	\$ 246,950	\$ 12,121
Total Expenditures	\$ 1,107,284	\$ 334,884	\$ 314,049	\$ 20,835
Excess (Deficiency) of Revenues over Expenditures	\$ -		\$ 560,092	
Net Change in Fund Balance	\$ -		\$ 560,092	\$ -
Fund Balance - Beginning	\$ -		\$ 369,708	
Fund Balance - Ending	\$ -		\$ 929,800	

Bannon Lakes
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Revenues:													
Special Assessments - Tax Roll	\$ -	\$ 63,592	\$ 126,876	\$ 680,619	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 871,086
Special Assessments - Direct	-	-	-	-	-	-	-	-	-	-	-	-	-
Interest	636	268	267	261	-	-	-	-	-	-	-	-	1,431
Facility Revenue	600	-	500	475	-	-	-	-	-	-	-	-	1,575
Miscellaneous	-	-	49	-	-	-	-	-	-	-	-	-	49
Total Revenues	\$ 1,236	\$ 63,860	\$ 127,691	\$ 681,354	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 874,141

Expenditures:													
General & Administrative:													
Supervisor Fees	\$ 800	\$ 1,000	\$ 1,000	\$ 800	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,600
PR-FICA	61	77	77	61	-	-	-	-	-	-	-	-	275
Engineering	388	-	233	-	-	-	-	-	-	-	-	-	620
Attorney	1,354	-	-	-	-	-	-	-	-	-	-	-	1,354
Annual Audit	-	-	-	-	-	-	-	-	-	-	-	-	-
Assessment Administration	8,348	-	-	-	-	-	-	-	-	-	-	-	8,348
Arbitrage Rebate	-	-	-	1,350	-	-	-	-	-	-	-	-	1,350
Dissemination Agent	836	836	836	836	-	-	-	-	-	-	-	-	3,343
Trustee Fees	6,450	-	-	11,466	-	-	-	-	-	-	-	-	17,916
Management Fees	4,831	4,831	4,831	4,831	-	-	-	-	-	-	-	-	19,325
Information Technology	177	177	177	177	-	-	-	-	-	-	-	-	708
Website Maintenance	118	118	118	118	-	-	-	-	-	-	-	-	472
Telephone	49	89	14	24	-	-	-	-	-	-	-	-	176
Postage & Delivery	138	326	115	198	-	-	-	-	-	-	-	-	776
Meeting Room Rental	-	-	-	-	-	-	-	-	-	-	-	-	-
Insurance General Liability/Public Officials	7,885	-	-	-	-	-	-	-	-	-	-	-	7,885
Printing & Binding	101	63	21	31	-	-	-	-	-	-	-	-	216
Legal Advertising	71	69	69	67	-	-	-	-	-	-	-	-	276
Other Current Charges	273	10	-	-	-	-	-	-	-	-	-	-	283
Office Supplies	1	0	1	1	-	-	-	-	-	-	-	-	2
Dues, Licenses & Subscriptions	175	-	-	-	-	-	-	-	-	-	-	-	175
Total General & Administrative	\$ 32,056	\$ 7,595	\$ 7,489	\$ 19,959	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 67,099
Operations & Maintenance													
Amenity Center Expenditures													
Insurance	\$ 27,946	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 27,946
Utilities													
Phone/Internet/Cable	318	318	318	318	-	-	-	-	-	-	-	-	1,272
Electric	1,846	1,668	1,574	1,884	-	-	-	-	-	-	-	-	6,971
Water/Irrigation	703	974	980	734	-	-	-	-	-	-	-	-	3,390
Gas	-	-	-	-	-	-	-	-	-	-	-	-	-
Refuse	307	369	371	386	-	-	-	-	-	-	-	-	1,432
Security													
Security Monitoring	575	575	575	575	-	-	-	-	-	-	-	-	2,298
Off-Duty Security - RollKall	4,281	2,344	2,604	1,590	-	-	-	-	-	-	-	-	10,818
Access Cards	-	-	-	-	-	-	-	-	-	-	-	-	-
Management Contracts													
Facility Management	6,789	6,789	6,789	6,789	-	-	-	-	-	-	-	-	27,156
Facility Attendant	84	-	-	225	-	-	-	-	-	-	-	-	309
Field Mgmt / Admin	2,500	2,500	2,500	2,500	-	-	-	-	-	-	-	-	10,000

Bannon Lakes
Community Development District
Month to Month

	Oct	Nov	Dec	Jan	Feb	March	April	May	June	July	Aug	Sept	Total
Pool Maintenance	1,239	1,239	1,239	1,239	-	-	-	-	-	-	-	-	4,955
Continued Amenity Center Expenditures													
Pool Chemicals	1,105	435	1,374	324	-	-	-	-	-	-	-	-	3,239
Janitorial	819	819	819	819	-	-	-	-	-	-	-	-	3,276
Janitorial Supplies	-	-	-	-	-	-	-	-	-	-	-	-	-
Facility Maintenance	3,850	3,371	3,392	76	-	-	-	-	-	-	-	-	10,688
Repairs & Maintenance	6,741	878	2,142	1,027	-	-	-	-	-	-	-	-	10,787
Special Events	-	994	775	548	-	-	-	-	-	-	-	-	2,318
Holiday Decorations	-	3,925	-	-	-	-	-	-	-	-	-	-	3,925
Fitness Center Repairs/Supplies	246	109	1,247	320	-	-	-	-	-	-	-	-	1,921
Surety Bond	-	-	-	-	-	-	-	-	-	-	-	-	-
Office Supplies	291	43	99	433	-	-	-	-	-	-	-	-	866
ASCAP/BMI Licenses	-	-	-	-	-	-	-	-	-	-	-	-	-
Pest Control	260	260	260	260	-	-	-	-	-	-	-	-	1,040
Nuisance Animal Control	249	249	1,749	549	-	-	-	-	-	-	-	-	2,796
Subtotal Amenity Center Expenditures	\$ 60,147	\$ 27,858	\$ 28,805	\$ 20,595	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 137,404
Grounds Maintenance													
Hydrology Quality/Mitigation	\$ 6,900	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	6,900
Landscape Maintenance	15,743	15,743	15,743	15,743	-	-	-	-	-	-	-	-	62,972
Landscape Contingency	-	405	855	97	-	-	-	-	-	-	-	-	1,357
Lake Maintenance	820	820	820	820	-	-	-	-	-	-	-	-	3,280
Grounds Maintenance	1,633	2,494	1,633	151	-	-	-	-	-	-	-	-	5,911
Pump Repairs	-	-	-	-	-	-	-	-	-	-	-	-	-
Streetlights	994	994	994	1,065	-	-	-	-	-	-	-	-	4,048
Streetlight Repairs	-	-	-	-	-	-	-	-	-	-	-	-	-
Irrigation Repairs	3,631	2,761	842	2,460	-	-	-	-	-	-	-	-	9,694
Miscellaneous	-	-	-	-	-	-	-	-	-	-	-	-	-
Reclaim Water	2,374	4,009	4,919	4,081	-	-	-	-	-	-	-	-	15,384
Storm Cleanup	-	-	-	-	-	-	-	-	-	-	-	-	-
Capital Reserve	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal Grounds Maintenance	\$ 32,095	\$ 27,227	\$ 25,807	\$ 24,417	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 109,546
Total Operations & Maintenance	\$ 92,242	\$ 55,084	\$ 54,612	\$ 45,012	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 246,950
Total Expenditures	\$ 124,297	\$ 62,679	\$ 62,101	\$ 64,972	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 314,049
Excess (Deficiency) of Revenues over Expenditures	\$ (123,061)	\$ 1,181	\$ 65,590	\$ 616,383	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 560,092
Total Other Financing Sources/Uses	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ (123,061)	\$ 1,181	\$ 65,590	\$ 616,383	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 560,092

Bannon Lakes
Community Development District
Debt Service Fund Series 2016
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending January 31, 2026

	Adopted Budget	Prorated Budget Thru 01/31/26	Actual Thru 01/31/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 740,176	\$ 590,284	\$ 590,284	\$ -
Interest Income	30,000	10,000	10,099	99
Total Revenues	\$ 770,176	\$ 600,284	\$ 600,384	\$ 99
Expenditures:				
Interest - 11/01	\$ 254,050	\$ 254,050	\$ 254,050	\$ -
Principal - 11/01	230,000	230,000	230,000	-
Special Call - 11/01	-	-	25,000	(25,000)
Interest - 5/01	248,875	-	-	-
Total Expenditures	\$ 732,925	\$ 484,050	\$ 509,050	\$ (25,000)
Excess (Deficiency) of Revenues over Expenditures	\$ 37,251	\$ 116,234	\$ 91,334	\$ 25,099
Other Financing Sources/(Uses):				
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -
Total Other Financing Sources/(Uses)	\$ -	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ 37,251	\$ 116,234	\$ 91,334	\$ 25,099
Fund Balance - Beginning	\$ 660,772		\$ 1,066,682	
Fund Balance - Ending	\$ 698,023		\$ 1,158,015	

Bannon Lakes
Community Development District
Debt Service Fund Series 2021
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending January 31, 2026

	Adopted	Prorated Budget	Actual	
	Budget	Thru 01/31/26	Thru 01/31/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 416,052	\$ 332,558	\$ 332,558	\$ -
Interest Income	15,000	5,000	4,278	(722)
Total Revenues	\$ 431,052	\$ 337,558	\$ 336,836	\$ (722)
Expenditures:				
Interest - 11/01	\$ 124,138	\$ 124,138	\$ 124,138	\$ -
Special Call - 11/01	-	-	5,000	(5,000)
Principal - 5/01	165,000	-	-	-
Interest - 5/01	124,138	-	-	-
Total Expenditures	\$ 413,275	\$ 124,138	\$ 129,138	\$ (5,000)
Excess (Deficiency) of Revenues over Expenditures	\$ 17,777	\$ 213,421	\$ 207,699	\$ 4,278
Other Financing Sources/(Uses):				
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -
Total Other Financing Sources/(Uses)	\$ -	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ 17,777	\$ 213,421	\$ 207,699	\$ 4,278
Fund Balance - Beginning	\$ 198,003		\$ 412,316	
Fund Balance - Ending	\$ 215,781		\$ 620,014	

Bannon Lakes
Community Development District
Debt Service Fund Series 2022
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending January 31, 2026

	Adopted Budget	Prorated Budget Thru 01/31/26	Actual Thru 01/31/26	Variance
Revenues:				
Special Assessments - Tax Roll	\$ 520,023	\$ 414,255	\$ 414,255	-
Interest Income	15,000	5,000	5,007	7
Total Revenues	\$ 535,023	\$ 419,255	\$ 419,263	\$ 7
Expenditures:				
Interest - 11/01	\$ 168,859	\$ 168,859	\$ 168,859	\$ -
Special Call - 11/01	-	-	5,000	(5,000)
Principal - 5/01	180,000	-	-	-
Interest - 5/01	168,859	-	-	-
Total Expenditures	\$ 517,719	\$ 168,859	\$ 173,859	\$ (5,000)
Excess (Deficiency) of Revenues over Expenditures	\$ 17,305	\$ 250,396	\$ 245,403	\$ 5,007
Other Financing Sources/(Uses):				
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -
Total Other Financing Sources/(Uses)	\$ -	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ 17,305	\$ 250,396	\$ 245,403	\$ 5,007
Fund Balance - Beginning	\$ 226,230		\$ 491,486	
Fund Balance - Ending	\$ 243,535		\$ 736,890	

Bannon Lakes
Community Development District
Capital Projects Fund Series 2021 and Series 2022
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending January 31, 2026

	Series 2021	Series 2022
Revenues		
Interest Income	\$ 423	\$ 10,997
Total Revenues	\$ 423	\$ 10,997
Expenditures:		
Capital Outlay	\$ 3,000	\$ -
Total Expenditures	\$ 3,000	\$ -
Excess (Deficiency) of Revenues over Expenditures	\$ (2,577)	\$ 10,997
Other Financing Sources/(Uses)		
Transfer In/(Out)	\$ -	\$ -
Total Other Financing Sources (Uses)	\$ -	\$ -
Net Change in Fund Balance	\$ (2,577)	\$ 10,997
Fund Balance - Beginning	\$ 34,593	\$ 898,707
Fund Balance - Ending	\$ 32,017	\$ 909,704

Bannon Lakes
Community Development District
Capital Reserve Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending January 31, 2026

	Adopted Budget	Prorated Budget Thru 01/31/26	Actual Thru 01/31/26	Variance
Revenues				
Capital Reserve Transfer In	\$ 158,079	\$ -	\$ -	\$ -
POA Contribution	-	-	-	-
Interest	2,500	833	12	(821)
Total Revenues	\$ 160,579	\$ 833	\$ 12	\$ (821)
Expenditures:				
Capital Outlay	\$ -	\$ -	\$ -	\$ -
Repairs and Maintenance	10,000	-	-	-
Roof Replacement	80,000	48,021	48,021	-
Other Service Charges	840	280	246	34
Total Expenditures	\$ 90,840	\$ 48,301	\$ 48,267	\$ 34
Excess (Deficiency) of Revenues over Expenditures	\$ 69,739		\$ (48,254)	
Other Financing Sources/(Uses)				
Transfer In/(Out)	\$ -	\$ -	\$ -	\$ -
Total Other Financing Sources (Uses)	\$ -	\$ -	\$ -	\$ -
Net Change in Fund Balance	\$ 69,739		\$ (48,254)	
Fund Balance - Beginning	\$ 34,977		\$ 26,630	
Fund Balance - Ending	\$ 104,716		\$ (21,625)	

Bannon Lakes
Community Development District
Long Term Debt Report

Series 2016 Special Assessment Bonds	
Interest Rate:	4.5% -5.0%
Maturity Date:	11/1/2048
Reserve Fund Definition	50% of Maximum Annual Debt Service
Reserve Fund Requirement	\$370,375
Reserve Fund Balance	370,375
Bonds Outstanding - 1/31/16	\$11,850,000
Less: May 1, 2016	\$0
Less: May 1, 2019 (Prepayment)	(\$50,000)
Less: November 1, 2019	(\$190,000)
Less: November 1, 2019 (Prepayment)	(\$45,000)
Less: May 1, 2020 (Prepayment)	(\$140,000)
Less: November 1, 2020	(\$190,000)
Less: November 1, 2020 (Prepayment)	(\$135,000)
Less: May 1, 2021	(\$30,000)
Less: November 1, 2021	(\$195,000)
Less: November 1, 2021 (Prepayment)	(\$25,000)
Less: May 1, 2022 (Prepayment)	(\$25,000)
Less: November 1, 2022	(\$200,000)
Less: May 1, 2023 (Prepayment)	(\$5,000)
Less: November 1, 2023	(\$210,000)
Less: November 1, 2024	(\$220,000)
Less: May 1, 2025 (Prepayment)	(\$5,000)
Less: November 1, 2025	(\$230,000)
Less: November 1, 2025 (Prepayment)	(\$25,000)
Current Bonds Outstanding	\$9,930,000

Series 2021 Special Assessment Bonds	
Interest Rate:	2.5% -4.0%
Maturity Date:	5/1/1951
Reserve Fund Definition	50% of Maximum Annual Debt Service
Reserve Fund Requirement	\$206,950
Reserve Fund Balance	206,950
Bonds Outstanding - 1/20/21	\$7,415,000
Less: May 1, 2022	(\$150,000)
Less: May 1, 2023	(\$155,000)
Less: November 1, 2023 (Prepayment)	(\$5,000)
Less: May 1, 2024	(\$155,000)
Less: May 1, 2025	(\$160,000)
Less: May 1, 2025 (Prepayment)	(\$5,000)
Less: November 1, 2025 (Prepayment)	(\$5,000)
Current Bonds Outstanding	\$6,780,000

Series 2022 Special Assessment Bonds	
Interest Rate:	2.875% -4.0%
Maturity Date:	5/1/1951
Reserve Fund Definition	50% of Maximum Annual Debt Service
Reserve Fund Requirement	\$259,400
Reserve Fund Balance	259,400
Bonds Outstanding - 2/25/22	\$9,135,000
Less: May 1, 2024	(\$170,000)
Less: May 1, 2024 (Prepayment)	(\$60,000)
Less: May 1, 2025	(\$175,000)
Less: May 1, 2025 (Prepayment)	(\$5,000)
Less: November 1, 2025 (Prepayment)	(\$5,000)
Current Bonds Outstanding	\$8,720,000

Total Bonds Outstanding	\$25,430,000
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Bannon Lakes
Community Development District
 Check Run Summary

Date	Check Numbers	Amount	Amount
General Fund			
1/6/26	1930-1939	\$7,262.48	
1/13/26	1940-1951	329,487.09	
1/21/26	1952-1960	1,060,249.82	
1/27/26	1961-1963	1,930.00	
Total General Fund Checks			\$1,398,929.39
Autopayments			
1/2/26	RollKall	\$260.40	
1/6/26	AT&T	74.90	
1/6/26	Republic Services	385.91	
1/20/26	RollKall	783.15	
1/20/26	SJCUD	4,814.67	
1/20/26	AT&T	243.08	
1/26/26	RollKall	546.00	
1/26/26	IRS FICA Payment	122.40	
1/26/26	FPL	2,949.31	
1/28/26	Wells Fargo Credit Card	685.69	
Total Paid Electronically			\$10,865.51
Total Paid Checks and Electronically			\$1,409,794.90

* Fedex Invoices will be available upon request

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
1/06/26	00107	12/30/25	AC12278	202512	320	57200	60100		FITNESS CENTER REPAIRS COMMERCIAL FITNESS PRODUCTS INC	*	1,000.70	1,000.70	001930
1/06/26	00126	1/05/26	00100306	202601	330	53800	46100		PET WASTE BAGS/LINERS DOODYCALLS OF JACKSONVILLE FL	*	151.00	151.00	001931
1/06/26	00122	1/02/26	764421	202601	320	57200	34500		VIDEO MONITORING - FEB26 HIDDEN EYES LLC	*	574.59	574.59	001932
1/06/26	00092	12/31/25	7504689	202512	310	51300	48000		NOTICE OF MEETING-12/16 GANNETT FLORIDA LOCALIQ	*	68.64	68.64	001933
1/06/26	00128	1/01/26	263010	202601	320	57200	45300		JAN JANITORIAL SERVICES HIGH TECH COMMERCIAL CLEANING	*	819.00	819.00	001934
1/06/26	00017	1/01/26	336277B	202601	330	53800	46800		JAN LAKE MAINTENANCE THE LAKE DOCTORS INC	*	820.00	820.00	001935
1/06/26	00013	12/22/25	1273	202512	330	57200	46210		PLANT INSTALLATION-12/19 LANDCARE GROUP INC	*	855.00	855.00	001936
1/06/26	00019	12/22/25	13129563	202512	320	57200	45210		DEC POOL CHEMICALS POOLSURE	*	1,224.55	1,224.55	001937
1/06/26	00074	1/01/26	38506	202601	320	57200	54510		WILDLIFE MANAGEMENT-JAN QUICK CATCH INC	*	249.00	249.00	001938
1/06/26	00074	12/30/25	38499	202512	320	57200	54510		HOG REMOVAL QUICK CATCH INC	*	1,500.00	1,500.00	001939
1/13/26	00037	1/09/26	01092026	202601	300	20700	10200		11/4 SJC TAX DIST 1	*	3,670.91		
		1/09/26	01092026	202601	300	20700	10200		11/20 SJC TAX DIST 2	*	14,320.13		
		1/09/26	01092026	202601	300	20700	10200		11/24 SJC TAX DIST 3	*	25,101.69		

BANL -BANNON LAKES- TLEE

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
		1/09/26	01092026 202601 300-20700-10200 12/17 SJC TAX DIST 4		*	46,126.32	
		1/09/26	01092026 202601 300-20700-10200 12/24 SJC TAX DIST 5		*	39,849.82	
							BANNON LAKES CDD C/O BANK OF NEW 129,068.87 001940
1/13/26	00076	1/09/26	01092026 202601 300-20700-10300 11/4 SJC TAX DIST 1		*	2,068.14	
		1/09/26	01092026 202601 300-20700-10300 11/20 SJC TAX DIST 2		*	8,067.77	
		1/09/26	01092026 202601 300-20700-10300 11/24 SJC TAX DIST 3		*	14,141.95	
		1/09/26	01092026 202601 300-20700-10300 12/17 SJC TAX DIST 4		*	25,986.94	
		1/09/26	01092026 202601 300-20700-10300 12/24 SJC TAX DSIT 5		*	22,450.85	
							BANNON LAKES CDD C/O BANK OF NEW 72,715.65 001941
1/13/26	00113	1/09/26	01092026 202601 300-20700-10400 11/4 SJC TAX DIST 1		*	2,576.21	
		1/09/26	01092026 202601 300-20700-10400 11/20 SJC TAX DIST 2		*	10,049.72	
		1/09/26	01092026 202601 300-20700-10400 11/24 SJC TAX DIST 3		*	17,616.11	
		1/09/26	01092026 202601 300-20700-10400 12/17 SJC TAX DIST 4		*	32,370.98	
		1/09/26	01092026 202601 300-20700-10400 12/24 SJC TAX DIST 5		*	27,966.19	
							BANNON LAKES CDD C/O BANK OF NEW 90,579.21 001942
1/13/26	00003	1/01/26	141 202601 310-51300-34000 JAN MANAGEMENT FEES		*	4,831.17	
		1/01/26	141 202601 310-51300-53000 JAN WEBSITE ADMIN		*	117.92	
		1/01/26	141 202601 310-51300-35100 JAN INFORMATION TECH		*	176.92	
		1/01/26	141 202601 310-51300-31600 JAN DISSEMINATION SVCS		*	835.75	
		1/01/26	141 202601 310-51300-51000 OFFICE SUPPLIES		*	.57	
		1/01/26	141 202601 310-51300-42000 POSTAGE		*	197.84	
		1/01/26	141 202601 310-51300-42500 COPIES		*	31.05	
		1/01/26	141 202601 310-51300-41000 TELEPHONE		*	23.78	
							GOVERNMENTAL MANAGEMENT SRVCS LLC 6,215.00 001943
BANL -BANNON LAKES- TLEE							

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
1/13/26	00013	12/31/25	1348	202511	330	53800	46400		IRRIGATION REPAIRS-NOV25	*	2,761.00		
									LANDCARE GROUP INC			2,761.00	001944
1/13/26	00013	1/02/26	1330	202601	330	53800	46200		JAN LANDSCAPE MAINTENANCE	*	15,743.00		
									LANDCARE GROUP INC			15,743.00	001945
1/13/26	00013	1/07/26	1347	202601	330	57200	46210		MISC ENHANCEMENT-SOD	*	97.00		
									LANDCARE GROUP INC			97.00	001946
1/13/26	00074	1/06/26	38513	202601	320	57200	54510		HOG REMOVAL	*	300.00		
									QUICK CATCH INC			300.00	001947
1/13/26	00014	1/01/26	276	202601	320	57200	45200		JAN POOL MAINTENANCE SVCS	*	1,238.75		
		1/01/26	276	202601	320	57200	46001		JAN CONTRACT ADMIN	*	2,500.00		
		1/01/26	276	202601	320	57200	34000		JAN FACILITY MANAGEMENT	*	6,788.92		
		1/01/26	276	202601	320	57200	45210		POOL CHEMICALS-TRICHLOR	*	174.90		
		1/01/26	276	202601	320	57200	45210		POOL CHEMICALS-POOL ENZYM	*	149.29		
									RIVERSIDE MANAGEMENT SERVICES INC			10,851.86	001948
1/13/26	00014	12/31/25	277	202512	320	57200	49400		DEC SPECIAL EVT ASSISTANT	*	387.52		
									RIVERSIDE MANAGEMENT SERVICES INC			387.52	001949
1/13/26	00062	10/29/25	0016921	202510	320	57200	60000		UNIT/CONDESNSER REPAIRS	*	199.00		
									THIGPEN HEATING AND COOLING INC.			199.00	001950
1/13/26	00062	1/07/26	0018640	202601	320	57200	60000		CLEANED BLOWER WHEEL	*	568.98		
									THIGPEN HEATING AND COOLING INC.			568.98	001951
1/21/26	00037	1/20/26	01202026	202601	300	20700	10200		1/14/26 SJC TAX DIST 6	*	459,606.35		
									BANNON LAKES CDD C/O BANK OF NEW			459,606.35	001952
1/21/26	00076	1/20/26	01202026	202601	300	20700	10300		1/14/26 SJC TAX DIST 6	*	258,936.00		
									BANNON LAKES CDD C/O BANK OF NEW			258,936.00	001953

BANL -BANNON LAKES- TLEE

CHECK DATE	VEND#	INVOICE DATE	INVOICE	EXPENSED TO YRMO	DPT	ACCT#	SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	CHECK AMOUNT	CHECK #
1/21/26	00113	1/20/26	01202026	202601	300	20700	10400			*	322,547.01		
			1/14/26	SJC TAX	DIST	6			BANNON LAKES CDD C/O BANK OF NEW			322,547.01	001954
1/21/26	00009	1/12/26	00252-26	202601	310	51300	32300			*	1,332.34		
				FY26	CONSTRUCTION	FEE							
		1/12/26	00252-26	202601	300	15500	10000			*	667.66		
				FY27	CONSTRUCTION	FEE							
		1/12/26	00252-26	202601	310	51300	32300			*	2,933.33		
				FY26	DS	2022	TRUSTEE	FEEES					
		1/12/26	00252-26	202601	300	15500	10000			*	1,466.67		
				FY27	DS	2022	TRUSTEE	FEEES					
									THE BANK OF NEW YORK MELLON			6,400.00	001955
1/21/26	00009	1/14/26	00252-26	202612	310	51300	32300			*	3,300.00		
				FY26	SE2015	TRUETEE	FEE						
		1/14/26	00252-26	202612	300	15500	10000			*	1,100.00		
				FY27	SE2015	TRUETEE	FEE						
									THE BANK OF NEW YORK MELLON			4,400.00	001956
1/21/26	00013	12/31/25	1361	202512	330	53800	46400			*	842.35		
				IRRIGATION	REPAIRS-DEC	25							
									LANDCARE GROUP INC			842.35	001957
1/21/26	00125	1/13/26	194513	202512	310	51300	31100			*	232.50		
				DEC	ENGINEERING	SERVICES							
									MATTHEWS DESIGN GROUP LLC			232.50	001958
1/21/26	00014	1/13/26	278	202512	320	57200	45100			*	3,333.00		
				FACILITY	MAINTENANCE-DEC								
		1/13/26	278	202512	330	53800	46100			*	1,633.00		
				GROUNDS	MAINTENANCE-DEC								
		1/13/26	278	202512	320	57200	60000			*	1,870.61		
				REPAIRS	& MAINTENANCE-DEC								
									RIVERSIDE MANAGEMENT SERVICES INC			6,836.61	001959
1/21/26	00062	1/14/26	0018782	202601	320	57200	60000			*	449.00		
				QUARTLEY	HAVC	MAINTENANCE							
									THIGPEN HEATING AND COOLING INC.			449.00	001960
1/27/26	00134	1/21/26	7937-01-	202601	310	51300	31200			*	1,350.00		
				SE2022	ARB	SVC	3 BOND	YRS					
									AMTEC CORP			1,350.00	001961
1/27/26	00107	1/20/26	BC01207	202601	320	57200	60100			*	320.00		
				FITNESS	CENTER	REPAIRS							
									COMMERCIAL FITNESS PRODUCTS INC			320.00	001962

BANL -BANNON LAKES- TLEE

CHECK DATE	VEND#	.....INVOICE..... DATE INVOICE	...EXPENSED TO... YRMO DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT #
1/27/26	00030	1/21/26 1220976	202601 320-57200-54500	JAN PEST CONTROL	*	160.00		
		1/21/26 1220976	202601 320-57200-54500	JAN RODENT CONTROL	*	100.00		
							FREEDOM PEST CONTROL	260.00 001963
TOTAL FOR BANK A						1,398,929.39		
TOTAL FOR REGISTER						1,398,929.39		

CommercialFitnessProducts

Invoice

5034 N Hiatus Road 954-747-5128 Phone
 Sunrise, FL 33351 954-747-5131 Fax

Date	Invoice #
12/30/2025	AC12278

Sold To	Ship To
---------	---------

Bannon Lakes
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Bannon Lakes
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Rep	Account #	Sales Order No.	Ship Date	Purchase Order #	Terms	Due Date
AB	BL435	WO#3899	12/30/2025	Verbal	Net 30	1/29/2026
Qty	Item Code	Description		Price Each	Amount	
1	Part	Clutch Assembly		185.70	185.70	
1	Part	Water Rower		695.00	695.00	
1	Labor	Technician installed part listed.		95.00	95.00	
		Subtotal			975.70	
1	Freight	Inbound Shipping		25.00	25.00	
<p>Approved 12/31/25 Jeff Jaihson Fitness center repairs 1.320.57200.60100</p> <div style="border: 1px solid black; padding: 5px; display: inline-block;"> <p>RECEIVED By Tara Lee at 6:06 am, Jan 02, 2026</p> </div>						

Thank you for your business!	Total	\$1,000.70
	Payments/Credits	\$0.00
www.commfitnessproducts.com	Balance Due	\$1,000.70

DoodyCalls of Jacksonville
 3948 3rd Street S, #442
 Jacksonville Beach, FL 32250
 Phone 904-338-4236



INVOICE 00100306

1/5/2026

BILL TO

Bannon Lakes CDD
 435 Bannon Lakes Blvd
 St Augustline, FL 32095

SHIP TO

Same as
 recipient

INSTRUCTIONS

Email: jjohnson@rmsnf.com

Qty	Date	Description	Unit Price	Total
2	1/5/2026	Pet Waste Roll Bags – case – 2000ct	\$ 43.00	\$ 86.00
1	1/5/2026	Pet Waste Container Liners – case	\$ 65.00	\$ 65.00
		exempt		
		Approved 1/5/26 Jeff Johnson Grounds Maintenance 1.330.53800.46100		

SUBTOTAL	\$ 151.00
SALES TAX	\$ 0.00
SHIPPING & HANDLING	--
TOTAL DUE BY DATE	\$ 151.00

Thank you for your business!

Envera

8281 Blaikie Court
Sarasota, FL 34240
(941) 556-7066

Approved 1/5/26
Security
1.320.57200.34500

<h1>Invoice</h1>	
Invoice Number 764421	Date 01/02/2026
Customer Number 400558	Due Date 02/01/2026

Page: 1

Customer Name	Customer Number	PO Number	Invoice Date	Due Date
Bannon Lakes CDD	400558		01/02/2026	02/01/2026

Quantity	Description	Months	Rate	Amount
<i>3047 - CCTV - Bannon Lakes CDD - Bannon Lakes Blvd, Saint Augustine, FL</i>				
1.00	Active Video Monitoring 02/01/2026 - 02/28/2026	1.00	\$206.00	\$206.00
1.00	Passive Standard Camera 02/01/2026 - 02/28/2026	1.00	\$128.75	\$128.75
1.00	Service & Maintenance 02/01/2026 - 02/28/2026	1.00	\$239.84	\$239.84
			Subtotal:	\$574.59
			Tax	\$0.00
			Payments/Credits Applied	\$0.00
			Invoice Balance Due:	\$574.59

RECEIVED
By Tara Lee at 10:09 am, Jan 05, 2026

Date	Invoice #	Description	Amount	Balance Due
1/2/2026	764421	Monitoring Services	\$574.59	\$574.59

Envera
8281 Blaikie Court
Sarasota, FL 34240
(941) 556-7066

<h1>Invoice</h1>	
Invoice Number 764421	Date 01/02/2026
Customer Number 400558	Due Date 02/01/2026

Net Due: \$574.59
Amount Enclosed: _____

Bannon Lakes CDD
C/O Governmental Mgmt Serv
475 W Town Pl., Ste 114
Saint Augustine, FL 32092

REMIT TO:

Envera
PO Box 2086
Hicksville, NY 11802



ACCOUNT NAME Bannon Lakes Cdd - Gms		ACCOUNT # 764131	INV DATE 12/31/25
INVOICE # 0007504689	INVOICE PERIOD Dec 1- Dec 31, 2025	CURRENT INVOICE TOTAL \$68.64	
PREPAY (Memo Info) \$0.00	UNAPPLIED (included in amt due) \$0.00	TOTAL CASH AMT DUE* \$68.64	

BILLING ACCOUNT NAME AND ADDRESS Bannon Lakes Cdd - Gms 475 W Town Place, Ste 114 Saint Augustine, FL 32092	PAYMENT DUE DATE: JANUARY 31, 2026 Legal Entity: Gannett Media Corp. Terms and Conditions: Past due accounts are subject to interest at the rate of 18% per annum or the maximum legal rate (whichever is less). Advertiser claims for a credit related to rates incorrectly invoiced or paid must be submitted in writing to Publisher within 30 days of the invoice date or the claim will be waived. Any credit towards future advertising must be used within 30 days of issuance or the credit will be forfeited. All funds payable in US dollars.
--	--

BILLING INQUIRIES/ADDRESS CHANGES 1-877-736-7612 or smb@ccc.gannett.com FEDERAL ID 47-2390983

Save A Tree! Gannett is going paperless. Enjoy the convenience of accessing your billing information anytime and pay online. To avoid missing an invoice, sign up today by going to <https://gcil.my.site.com/financialservicesportal/s/>.

Date	Description	Amount
12/1/25	Balance Forward	\$68.64
12/22/25	PAYMENT - THANK YOU	-\$68.64

Package Advertising:

Start-End Date	Order Number	Product	Description	PO Number	Package Cost
12/8/25	11846494	SAG St Augustine Record	Bannon Lakes December Meeting		\$68.64

RECEIVED
By Tara Lee at 11:28 am, Jan 05, 2026

As an incentive for customers, we provide a discount off the total invoice cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and Save!	Total Cash Amount Due	\$68.64
	Service Fee 3.99%	\$2.74
	*Cash/Check/ACH Discount	-\$2.74
	*Payment Amount by Cash/Check/ACH	\$68.64
	Payment Amount by Credit Card	\$71.38

PLEASE DETACH AND RETURN THIS PORTION WITH YOUR PAYMENT

ACCOUNT NAME Bannon Lakes Cdd - Gms		ACCOUNT NUMBER 764131		INVOICE NUMBER 0007504689		AMOUNT PAID
CURRENT DUE \$68.64	30 DAYS PAST DUE \$0.00	60 DAYS PAST DUE \$0.00	90 DAYS PAST DUE \$0.00	120+ DAYS PAST DUE \$0.00	UNAPPLIED PAYMENTS \$0.00	TOTAL CASH AMT DUE* \$68.64
REMITTANCE ADDRESS (Include Account# & Invoice# on check) Gannett Florida LocaliQ PO Box 631244 Cincinnati, OH 45263-1244				TO PAY BY PHONE PLEASE CALL: 1-877-736-7612		TOTAL CREDIT CARD AMT DUE \$71.38
To sign up for E-mailed invoices and online payments please go to https://gcil.my.site.com/financialservicesportal/s/ .						

00007641310000000000000075046890000686467178

LOCALIQ FLORIDA

PO Box 631244 Cincinnati, OH 45263-1244

AFFIDAVIT OF PUBLICATION

Katelyn Beach
Bannon Lakes Cdd - Gms
475 W Town Place, Ste 114

Saint Augustine FL 32092

STATE OF WISCONSIN, COUNTY OF BROWN

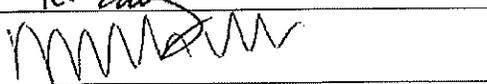
Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the St Augustine Record, published in St Johns County, Florida; that the attached copy of advertisement, being a Public Notices, was published on the publicly accessible website of St Johns County, Florida, or in a newspaper by print in the issues of, on:

SAG St Augustine Record 12/08/2025
SAG staugustine.com 12/08/2025

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 12/08/2025

Legal Clerk 

Notary, State of WI, County of Brown

8.25.26

My commission expires

Publication Cost:	\$68.64	
Tax Amount:	\$0.00	
Payment Cost:	\$68.64	
Order No:	11846494	# of Copies:
Customer No:	764131	1
PO #:		

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

MARIAH VERHAGEN
Notary Public
State of Wisconsin

NOTICE OF MEETING BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Bannon Lakes Community Development District will be held on Tuesday, December 16, 2025 at 6:00 p.m. at the Bannon Lakes Amenity Center 435 Bannon Lakes Blvd, St. Augustine, Florida 32092. The meeting is open to the public and will be conducted in accordance with the provisions of Florida Law for Community Development Districts. A copy of the agenda for this meeting may be obtained from the District Manager, at 475 West Town Place, Suite 114, St. Augustine, FL 32092 (and phone (904) 940-5850). This meeting may be continued to a date, time, and place to be specified on the record at the meeting. There may be occasions when one or more Supervisors will participate by telephone. Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Office at (904) 940-5850 at least two calendar days prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service at 1-800-955-8770, for aid in contacting the District Office. Each person who decides to appeal any action taken at these meetings is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based. James Oliver
District Manager
Pub: Dec 8, 2025 #11846494



Invoice	
Date	Invoice #
1/1/2026	263010

Bill To
Bannon Lakes CDD Attn: Jeff Johnson 435 Bannon Lakes Blvd St Augustine, FL 32095

Please Remit Payment To:

NewVenture of Jacksonville, Inc. DBA High Tech Commercial Cleaning 8130 Baymeadows Circle W., #306 Jacksonville, FL 32256-1837

Questions about billing?
904-224-0770, 904-507-5020 fax, accounting@htccleaning.com
Questions about service?
Jacksonville area 904-732-7270 ~ Daytona area 386-760-2677

TERMS: NET 10

Quantity	Description	Rate	Amount
	<p>FEE FOR JANITORIAL SERVICE: Month of January 2026</p> <p>Bannon Lakes CDD 435 Bannon Lakes Blvd St Augustine, FL 32259</p> <p>FL DR-14 85-8017166046C-0 Expires 01/31/2027</p> <p>Billing on behalf of High Tech Commercial Cleaning franchisee, Everett Weatherspoon</p> <p>Approved 12/19/25 Janitorial Maintenance 1.320.57200.45300</p> <div style="border: 1px solid black; padding: 5px; margin-top: 20px;"> <p>RECEIVED By Tara Lee at 11:08 am, Dec 19, 2025</p> </div>	819.00	819.00
Thank you for your business.		Total	\$819.00

MAKE CHECK PAYABLE TO:



Post Office Box 162134
Altamonte Springs, FL 32716
(904) 262-5500

PLEASE FILL OUT BELOW IF PAYING BY CREDIT CARD



CARD NUMBER	EXP. DATE
SIGNATURE	AMOUNT PAID

ADDRESSEE

Please check if address below is incorrect and indicate change on reverse side

BANNON LAKES CDD
Diana Lambert
475 W Town Place
Suite 114
St Augustine, FL 32092

ACCOUNT NUMBER	DATE	BALANCE
723475	1/1/2026	\$820.00

The Lake Doctors
Post Office Box 162134
Altamonte Springs, FL 32716

00000000116522001000000033627700000008200069

Please return this invoice with your payment and notify us of any changes to your contact information.

BANNON LAKES CDD	435 Bannon Lakes Blvd, St Augustine, Fl	St Augustine, FL 32092
Invoice Due Date 1/11/2026	Invoice 336277B	PO #

Invoice Date	Description	Quantity	Amount	Tax	Total
1/1/2026	Water Management - Monthly		\$820.00	\$0.00	\$820.00

Please remit payment for this month's invoice.

RECEIVED
By Tara Lee at 12:20 pm, Jan 02, 2026

approved 1/2/26
Jeff Johnson
Lake Maintenance
1.330.53800.46800

Please provide remittance information when submitting payments, otherwise payments will be applied to the oldest outstanding invoices.	Credits	\$0.00
	Adjustment	\$0.00
	AMOUNT DUE	

Total Account Balance including this invoice:

\$820.00

This Invoice Total:

\$820.00

Click the "Pay Now" link to submit payment by ACH

Customer #: 723475
Portal Registration #: 0F4EFD82
Customer E-mail(s): jjohnson@rmsnf.com
Customer Portal Link: www.lakedoctors.com/contact-us/

Corporate Address
4651 Salisbury Rd, Suite 155
Jacksonville, FL 32256

Set Up Customer Portal to pay Invoices online, set up recurring payments, view payment history, and edit contact information



1707 Townhurst Dr.
Houston TX 77043
(800) 858-POOL (7665)
www.poolsure.com

Invoice

Date 12/22/2025
Invoice # 131295633608

Terms	Net 20
Due Date	1/11/2026
PO #	
Delivery Ticket #	Sales Order #1356507
Delivery Date	12/22/2025
Delivery Location	Bannon Lakes Pool
Customer #	13BAN025

Bill To
Riverside Management Services Bannon Lakes CDD 9655 Florida Mining Blvd West bldg 300 suite 305 Jacksonville FL 32257

Ship To
Bannon Lakes CDD 435 Bannon Lakes Blvd St. Augustine FL 32095

THANK YOU FOR YOUR BUSINESS!

Item ID	Item	Quantity	Units	Rate	Amount
115-300	Bleach Minibulk Delivered	300	gal	\$3.35	\$1,005.00
160-050	Pool Acid bulk by Gallon	45	gal	\$3.19	\$143.55
135-010	Sodium Bicarbonate 50# bag	2		\$38.00	\$76.00

Subtotal	\$1,224.55
Tax	\$0.00
Total	\$1,224.55
Amount Paid/Credit Applied	\$0.00
Balance Due	\$1,224.55

[Click Here to Pay Now](#)



Approved 12/29/25
Jeff Johnson
Pool Chemicals
1.320.57200.45210

RECEIVED
By Tara Lee at 6:08 am, Jan 02, 2026



131295633608

INVOICE

QUICK CATCH INC
12627 San Jose Blvd Suite 205
Jacksonville, FL 32223

admin@quick-catch.com
+1 (904) 859-6585
www.quick-catch.com



Bill to
Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Ship to
Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Invoice details

P.O. Number: OSKX

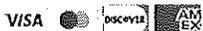
Invoice no.: 38506
Terms: Net 14
Invoice date: 01/01/2026
Due date: 01/15/2026

#	Date	Product or service	Description	Qty	Rate	Amount
1.		WILDLIFE MANAGEMENT	-Continuous hog removal program to include use of traps, archery equipment, and discreet suppressed rifle use (when needed) -Deer management program (only during deer season Sept 19th-Jan 24th) discreet removal of excess deer to maintain proper herd health using archery equipment -Misc. non target animal trapping when interfering with our bait/trap sites -Any animal trapped under the management plan. There is a per animal removal fee \$95	1	\$249.00	\$249.00

Total

\$249.00

Ways to pay



Note to customer

Bridge Bay Sales Center
Terri Fawcett
23 Bridge Oak Lane
Saint Augustine, FL 32095

Approved 1/2/26
Jeff Johnson
Nuisance Animal Control
1.320.57200.54510

[View and pay](#)

RECEIVED

By Tara Lee at 12:22 pm, Jan 02, 2026

INVOICE

QUICK CATCH INC
12627 San Jose Blvd Suite 205
Jacksonville, FL 32223

admin@quick-catch.com
+1 (904) 859-6585
www.quick-catch.com



Bill to

Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Ship to

Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Invoice details

Invoice no.: 38499
Terms: Net 14
Invoice date: 12/30/2025
Due date: 01/13/2026

Approved 12/30/25
Jeff Johnson
Nuisance Animal Control
1.320.57200.54510

#	Date	Product or service	Description	Qty	Rate	Amount
1.		Hog Removal Up to 100 lbs	Hog Removal Up to 100 lbs	10	\$150.00	\$1,500.00

Total **\$1,500.00**

Ways to pay

VISA BANK VENMO

Note to customer

removed 10 - 20lbs - 30lbs hogs from 268 Lake Bridge Rd

RECEIVED
By Tara Lee at 6:12 am, Jan 02, 2026

[View and pay](#)

**Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT**

General Fund

Check Request

Date	Amount	Authorized By
January 9, 2026	\$129,068.87	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #37 DS 2016

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10200
------	-------------------

Intended Use of Funds Requested:

11/4/25 SJC TAX DIST 1	3,670.91
11/20/25 SJC TAX DIST 2	14,320.13
11/24/25 SJC TAX DIST 3	25,101.69
12/17/25 SJC TAX DIST 4	46,126.32
12/24/25 SJC TAX DIST 5	39,849.82
	129,068.87

(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)

Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT

General Fund

Check Request

Date	Amount	Authorized By
January 9, 2026	\$72,715.65	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #76 DS 2021

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10300
------	-------------------

Intended Use of Funds Requested:

11/4/25 SJC TAX DIST 1	2,068.14
11/20/25 SJC TAX DIST 2	8,067.77
11/24/25 SJC TAX DIST 3	14,141.95
12/17/25 SJC TAX DIST 4	25,986.94
12/24/25 SJC TAX DIST 5	22,450.85
	<u>72,715.65</u>

(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)

Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT

General Fund

Check Request

Date	Amount	Authorized By
January 9, 2026	\$90,579.21	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #113 DS 2022
--

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10400
------	-------------------

Intended Use of Funds Requested:

11/4/25	SJC TAX DIST 1	\$ 2,576.21
11/20/25	SJC TAX DIST 2	\$ 10,049.72
11/24/25	SJC TAX DIST 3	17,616.11
12/17/25	SJC TAX DIST 4	32,370.98
12/24/25	SJC TAX DIST 5	27,966.19
		90,579.21
<i>(Attach supporting documentation for request.)</i>		

Governmental Management Services, LLC

475 West Town Place, Suite 114
St. Augustine, FL 32092

Invoice

Invoice #: 141
Invoice Date: 1/1/26
Due Date: 1/1/26
Case:
P.O. Number:

Bill To:

Bannon Lakes CDD
475 West Town Place
Suite 114
St. Augustine, FL

Description	Hours/Qty	Rate	Amount
Management Fees - January 2026		4,831.17	4,831.17
Website Administration - January 2026		117.92	117.92
Information Technology - January 2026		176.92	176.92
Dissemination Agent Services -January 2026		835.75	835.75
Office Supplies		0.57	0.57
Postage		197.84	197.84
Copies		31.05	31.05
Telephone		23.78	23.78

Total \$6,215.00

Payments/Credits \$0.00

Balance Due \$6,215.00

RECEIVED

By Tara Lee at 11:24 am, Jan 07, 2026



35 Enterprise Drive
Bunnell, FL 32110

INVOICE

Invoice Batch Number 1348
 Invoice Date 12/31/25
 Payment Terms Net 30
 PO Number
 Sales Rep David Jackson

Bill To

Bannon Lakes CDD
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Approved 1/8/26
 Jeff Johnson
 Irrigation Repairs
 1.330.53800.46400

Description	Qty / UOM	Rate	Ext. Price	Amount
Service Location: Bannon Lakes CDD				
Irrigation system repairs.				
11/02/2025 12:28 PM Scott Martin SUNDAY EMERGENCY CALL Irrigation Maintenance #1|Work ticket #10557|# -				
11/02/2025 12:00 PM Scott Martin Shut off stuck valve Duran drive				
Irrigation Maintenance #1|Work ticket #10557|# - Billable Irrigation - 11/02/2025				
Labor - 11/02/25	1.35 Hrs	\$65.00	\$87.75	
Irrigation system repairs.				
11/03/2025 8:39 AM Scott Martin Purged valve, and replaced DBYs from solenoid to decoder valve operating correctly Irrigation Maintenance #1|Work ticket #10558|# -				
11/03/2025 7:43 AM Scott Martin Repair valve Duran drive Irrigation Maintenance #1|Work ticket #10558|# - Billable Irrigation - 11/03/2025				
Labor - 11/03/25	1.31 Hrs	\$45.00	\$58.95	
Pro-Trade DBR/Y-600 Red/Yellow Gorilla Nut 2 Pack (Material)	2.00 BG	\$7.49	\$14.98	
Irrigation system repairs.				
11/05/2025 7:32 AM Scott Martin Replaced a spray head and nozzle on blvd called in by Jeff, property manager				

Irrigation Maintenance #1|Work ticket #10602|# -				
Billable Irrigation - 11/05/2025				
Labor - 11/05/25	0.98	Hrs	\$45.00	\$44.10
Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)	1.00	ea	\$5.14	\$5.14
Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)	1.00	ea	\$8.11	\$8.11
Irrigation system repairs.				
11/11/2025 2:58 PM Scott Martin				
Existing rain sensor was not operating (click button not functioning)				
Irrigation Maintenance #1|Work ticket #10849|# -				
11/11/2025 2:53 PM Scott Martin				
Replaced rain sensor and moved new one from out under the tree branches				
Irrigation Maintenance #1|Work ticket #10849|# -				
Billable Irrigation - 11/11/2025				
Labor - 11/11/25	2.13	Hrs	\$45.00	\$95.85
Sch 40 PVC Male Adapter 1/2 in. MIPT x Socket (Material)	1.00	ea	\$0.48	\$0.48
Hunter Rain Sensor Wired Adjustable 1/8 - 3/4 in. Rainfall (Material)	1.00	ea	\$33.75	\$33.75
PVC Purple Reclaimed Pipe 1/2 in. x 20 ft. SDR-13.5 (CL 315) Bell End (Priced per ft.) (Material)	2.00	FT	\$0.27	\$0.53
Irrigation system repairs.				
11/13/2025 2:36 PM Scott Martin				
Replaced 1 head & 1 nozzle zone 50, 2 heads & 3 nozzles on zone 41				
Irrigation Maintenance #1|Work ticket #10889|# -				
11/13/2025 1:43 PM Scott Martin				
Replaced broken heads				
Irrigation Maintenance #1|Work ticket #10889|# -				
Billable Irrigation - 11/13/2025				
Labor - 11/13/25	1.41	Hrs	\$45.00	\$63.45
Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)	3.00	ea	\$5.14	\$15.41
Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)	4.00	ea	\$8.11	\$32.42
Irrigation system repairs.				

11/14/2025 1:58 PM Scott Martin				
Replaced decoder flower zone				
Irrigation Maintenance #1|Work ticket #10909|# -				
11/14/2025 1:25 PM Scott Martin				
Irrigation repairs Amenity Center				
Irrigation Maintenance #1|Work ticket #10909|# - Billable Irrigation - 11/14/2025				
Labor - 11/14/25	1.77	Hrs	\$45.00	\$79.65
Irrigation system repairs.				
11/17/2025 10:02 AM Scott Martin				
Completed irrigation repairs @ amenity center				
Irrigation Maintenance #1|Work ticket #10916|# - Billable Irrigation - 11/17/2025				
Labor - 11/17/25	2.54	Hrs	\$45.00	\$114.30
Hunter AC Solenoid Assembly 24 VAC (Material)	1.00	ea	\$16.32	\$16.32
Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)	3.00	ea	\$5.14	\$15.41
Rain Bird Field Decoder 1 Station Solenoid Not Included (Material)	1.00	ea	\$236.99	\$236.99
Hunter MP Rotator MP1000 Nozzle 8 ft. - 15 ft. 90 Degree - 210 Degree (Material)	4.00	ea	\$8.11	\$32.42
Rain Bird 5004 Part-Circle Non-Potable Rotor 4 in. Riser (Material)	1.00	ea	\$17.89	\$17.89
Rain Bird U-Series Nozzle Half Circle 12 ft. 180 Degree (Material)	1.00	ea	\$2.63	\$2.63
Irrigation system repairs.				
11/18/2025 1:35 PM Scott Martin				
Irrigation repairs completed				
Irrigation Maintenance #1|Work ticket #10937|# -				
11/18/2025 7:30 AM Scott Martin				
Bannon Lakes Blvd. Irrigation repairs				
Irrigation Maintenance #1|Work ticket #10937|# - Billable Irrigation - 11/18/2025				
Labor - 11/18/25	13.62	Hrs	\$45.00	\$612.90
Sch 40 PVC Cap 1/2 In. Socket (Material)	2.00	ea	\$0.48	\$0.95

Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)	35.00	ea	\$5.14	\$179.83
Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 210 Degree - 270 Degree (Material)	10.00	ea	\$8.11	\$81.06
Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)	33.00	ea	\$8.11	\$267.50
Rain Bird 5004 Part-Circle Non-Potable Rotor 4 In. Riser (Material)	4.00	ea	\$17.89	\$71.57
Irrigation system repairs.				
11/18/2025 7:30 AM Justin VanPatten				
Working with Scott to make repairs on the boulevard. All parts and materials on Scott's aspire ticket.				
Irrigation Maintenance #2|Work ticket #10936|# - Billable Irrigation - 11/18/2025				
Irrigation system repairs.				
11/21/2025 12:45 PM				
Scott Martin				
Repaired irrigation break broken by maintenance man (Tim) installing dog waste disposals 1" lateral line				
Irrigation Maintenance #1|Work ticket #10976|# - Billable Irrigation - 11/21/2025				
Labor - 11/21/25	4.07	Hrs	\$45.00	\$183.15
Sch 40 PVC Coupling 1-1/4 in. Socket (Material)	1.00	ea	\$1.13	\$1.13
Sch 40 PVC Reducer Bushing Flush Style 1-1/4 in. x 1 in. Spigot x FIPT (Material)	2.00	ea	\$1.93	\$3.86
NDS Pro-Span PVC Expansion Repair Coupling 1-1/4 in. Socket x Spigot (Material)	1.00	ea	\$20.37	\$20.37
Sch 40 PVC 90 Degree Elbow 1/2 in. Socket x FIPT (Material)	2.00	ea	\$0.64	\$1.29
PVC Purple Reclaimed Pipe 1 in. x 20 ft. SDR-21 (CL 200) Bell End (Priced per ft.) (Material)	1.00	FT	\$0.32	\$0.32
PVC Purple Reclaimed Pipe 1/2 in. x 20 ft. SDR-13.5 (CL 315) Bell End (Priced per ft.) (Material)	1.00	FT	\$0.27	\$0.27
Sch 40 PVC Reducing Tee 2 in. x 1/2 in. Socket (Material)	1.00	ea	\$3.63	\$3.63
KF Black IPS Flex Pipe PVC 1/2 in. x 100 ft. (Sold per ft.) (Material)	1.00	FT	\$0.98	\$0.98
Irrigation system repairs.				
Irrigation Maintenance #1 | November 26, 2025				
Raised sprinkler heads in the flowers and changed nozzles				
Scott Martin 11/26/2025 12:26 PM				
Work ticket #11033|# - Billable Irrigation - 11/26/2025				

Labor - 11/26/25	2.36	Hrs	\$45.00	\$106.20
Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 210 Degree - 270 Degree (Material)	1.00	ea	\$8.11	\$8.11
Rain Bird 1800 Spray Riser Extension 6 in. (Material)	8.00	ea	\$4.40	\$35.17
Rain Bird U-Series Nozzle 12 ft. Radius Quarter Circle 12 ft. 90 Degree (Material)	3.00	ea	\$2.63	\$7.90
Rain Bird U-Series Nozzle Half Circle 12 ft. 180 Degree (Material)	1.00	ea	\$2.63	\$2.63
Total for Bannan Lakes CDD				\$2,761.00

Invoice Subtotal:	\$2,761.00
Sales Tax:	\$0.00
Invoice Total:	\$2,761.00
Credits/Payments:	\$0.00
Balance Due:	\$2,761.00

RECEIVED
By Tara Lee at 2:18 pm, Jan 08, 2026



35 Enterprise Drive
Bunnell, FL 32110

INVOICE

Invoice Number 1330
 Invoice Date 01/02/26
 Payment Terms Net 30
 PO Number
 Sales Rep David Jackson

Bill To

Bannon Lakes CDD
 Bannon Lakes CDD
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Property Address

Bannon Lakes CDD
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Description	Qty / UOM	Rate	Ext. Price	Amount
#376 - Landscape Maintenance 2025 January 2026				\$15,743.00
Approved 1/2/26 Jeff Johnson Landscape Maintenance 1.330.53800.46200				
RECEIVED <i>By Tara Lee at 1:08 pm, Jan 02, 2026</i>				

Subtotal:	\$15,743.00
Sales Tax:	\$0.00
Invoice Total:	\$15,743.00
Credits/Payments:	(\$0.00)
Balance Due:	\$15,743.00

Current	1-30 Days Past Due	31-60 Days Past Due	61-90 Days Past Due	90+ Days Past Due
\$16,598.00	\$19,373.54	\$0.00	\$0.00	\$0.00

INVOICE

QUICK CATCH INC
12627 San Jose Blvd Suite 205
Jacksonville, FL 32223

admin@quck-catch.com
+1 (904) 859-6585
www.quck-catch.com



Bill to
Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Ship to
Bridge Bay at Bannan Lakes c/o Bannan
Lakes CDD
2695 Dobbs Road St. Augustine, FL 32086

Invoice details

Invoice no.: 38513
Terms: Net 14
Invoice date: 01/06/2026
Due date: 01/20/2026

RECEIVED
By Tara Lee at 9:51 am, Jan 07, 2026

#	Date	Product or service	Description	Qty	Rate	Amount
1.		Hog Removal Up to 100 lbs	Hog Removal Up to 100 lbs	2	\$150.00	\$300.00

Total \$300.00

Ways to pay



Note to customer

2 150lb female hogs killed at 268 Lake bridge

[View and pay](#)

Approved 1/7/26
Jeff Johnson
Nuisance Animal Control
1.320.57200.54510

Riverside Management Services, Inc
 475 West Town Place
 Suite 114
 St. Augustine, FL 32092

Invoice

Invoice #: 276
 Invoice Date: 1/1/2026
 Due Date: 1/1/2026
 Case:
 P.O. Number:

Bill To:
 Bannan Lakes CDD
 475 West Town Place
 Suite 114
 St. Augustine, FL 32092

Description	Hours/Qty	Rate	Amount
1.320.57200.45200 - Pool Maintenance Services - January 2026		1,238.75	1,238.75
1.320.57200.46001 - Contract Administration - January 2026		2,500.00	2,500.00
1.320.57200.34000 - Facility Management - Bannan Lakes - January 2026		6,788.92	6,788.92
Pool Chemicals - Trichlor		174.90	174.90
Pool Chemicals - Natural Pool Enzymes		149.29	149.29
<p><i>Alison Moring</i> 1-7-26</p>			

Total \$10,851.86

Payments/Credits \$0.00

Balance Due \$10,851.86

RECEIVED

By Tara Lee at 12:33 pm, Jan 07, 2026

Riverside Management Services, Inc
475 West Town Place
Suite 114
St. Augustine, FL 32092

Invoice

Invoice #: 277
Invoice Date: 12/31/2025
Due Date: 12/31/2025
Case:
P.O. Number:

Bill To:
Bannon Lakes CDD
475 West Town Place
Suite 114
St. Augustine, FL 32092

Description	Hours/Qty	Rate	Amount
Special Events Assistant through December 2025 1.320.57200.49400	13.84	28.00	387.52
<i>Alison Moxing</i> 1-7-26			

Total \$387.52

Payments/Credits \$0.00

Balance Due \$387.52

RECEIVED
By Tara Lee at 2:53 pm, Jan 07, 2026

BANNON LAKES CDD

SPECIAL EVENT ASSISTANT INVOICE DETAIL

Quantity	Description	Rate	Amount
13.84	Special Event Assistant Covers December 2025	\$ 28.00	\$ 387.52
	TOTAL DUE:		<u>\$ 387.52</u>

Special Event Assistant 1.320.57200.49400

BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT
SPECIAL EVENT ASSISTANT BILLABLE HOURS
THROUGH DECEMBER 2025

<u>Date</u>	<u>Hours</u>	<u>Employee</u>	<u>Description</u>
12/7/25	4.7	L.H.	Christmas Event - set up, assist and clean up
12/7/25	4.82	P.B.	Christmas Event - set up, assist and clean up
12/7/25	4.32	T.W.	Christmas Event - set up, assist and clean up
TOTAL	<u>13.84</u>		

THIGPEN

HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0016921

Invoice Date :10/29/2025 Install Date :06/26/2017
 Service Order :042640 Page : 1 of 2

Serviced At : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL 32095

Bill To : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL
 32095

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CSVC		DUE UPON RECEIPT

Service Requested :

Commercial Service. PAUL ONLY AT THIS LOCATION, EVEN FOR MAINT! CALL JEFF WHEN HEADING TO PROPERTY EVERY TIME. HE IS IN CHARGE OF FACILITIES. JEFF ON SITE UNTIL 2 TRANE UNIT /CONDENSER NOT WORKING \$199 + REPAIR PLEASE CALL OTW ANGIE

Service Comments :

10/06/2025. Found TRANE air handler running with no condenser. Got with technical support. For the the static pressure switch inside, the air handler had water in the tubing, causing it not to register. The fan was on cleared out. Tube system is running..

Description	Mfg Name	Model	Serial No	
Air Handler	MISC	TWE090E300AA	17033NJABA	
Total Labor for Unit				0.00
Qty	Description	Price	Extended	
1	Commercial Diagnostic	179.00	179.00	
1	Commercial Environmental Fee	20.00	20.00	
Total Parts for Unit				199.00

THIGPEN

HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0016921

Invoice Date :10/29/2025 Install Date :06/26/2017
 Service Order :042640 Page : 2 of 2

Serviced At : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL 32095

Bill To : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL
 32095

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CSVC		DUE UPON RECEIPT

Approved 1/8/26
 Jeff Johnson
 Repairs and Maintenance
 1.320.57200.60000

PLEASE REMIT TO:
Thigpen Heating & Cooling, Inc
 2801 Dawn Road
 Jacksonville, FL 32207

Materials:	199.00
Misc:	0.00
Trip Charge:	0.00
Labor:	0.00
Subtotal:	199.00
Sales Tax:	0.00
Total:	199.00 USD
Balance Due:	199.00 USD

RECEIVED
 By Tara Lee at 8:10 am, Jan 09, 2026

THIGPEN

HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0018640

Invoice Date :01/07/2026 Install Date :06/26/2017
 Service Order :039946 Page : 1 of 2

Serviced At : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL 32095

Bill To : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL
 32095

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CSVCS		DUE UPON RECEIPT

Service Requested :

Tech to complete blower wheel pull and clean

Service Comments :

Did a pull and clean on blower wheel on TRANE M/N TWE090E300AA. S/N 17033NJABA. Found needs a new E-heat straps M/N BAYHTRL325AB.

Description	Mfg Name	Model	Serial No	
Condenser	MISC	TTA090H300AA	16512L83YA	
Description	Mfg Name	Model	Serial No	
Air Handler	MISC	TWE090E300AA	17033NJABA	
Qty	Item	Description	Price	Extended
1	*	CLEAN BLOWER WHEEL 18-24IN DIAMETER REMOVED	568.98	568.98
Total Parts for Unit				568.98
Description	Mfg Name	Model	Serial No	
Condenser	MISC	14HPX036-230-21	1917B03797	
Description	Mfg Name	Model	Serial No	
Air Handler	MISC	CBX25UH-036-230-10	1717B34977	
Description	Mfg Name	Model	Serial No	
Air Handler	LENNOX	CBX25UH-048-230-10	1717B16907	

See Over < 2 >

THIGPEN

HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0018640

Bill To : 122663
Bannon Lakes Amenity Center 435 Bannon Lakes Blvd Saint Augustine, FL 32095

Invoice Date : 01/07/2026	Install Date : 06/26/2017
Service Order : 039946	Page : 2 of 2
Serviced At : 122663	
Bannon Lakes Amenity Center 435 Bannon Lakes Blvd Saint Augustine, FL 32095	

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CSVC		DUE UPON RECEIPT

Description	Mfg Name	Model	Serial No
Heat Pump	LENNOX	14HPX-048-230-21	1917B06555
Total Labor for Unit			0.00

Approved 1/8/26
 Jeff Johnson
 Repairs and Maintenance
 1.320.57200.60000

PLEASE REMIT TO:
Thigpen Heating & Cooling, Inc
 2801 Dawn Road
 Jacksonville, FL 32207

Materials:	568.98
Misc:	0.00
Trip Charge:	0.00
Labor:	0.00
Subtotal:	568.98
Sales Tax:	0.00
Total:	568.98 USD
Balance Due:	568.98 USD

**Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT**

General Fund

Check Request

Date	Amount	Authorized By
January 20, 2026	\$459,606.35	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #37 DS 2016

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10200
------	-------------------

Intended Use of Funds Requested:

1/14/26 SJC TAX DIST 6	459,606.35

459,606.35

(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)

**Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT**

General Fund

Check Request

Date	Amount	Authorized By
January 20, 2026	\$258,936.00	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #76 DS 2021

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10300
------	-------------------

Intended Use of Funds Requested:

1/14/26 SJC TAX DIST 6	258,936.00
	<u>258,936.00</u>

(Attach supporting documentation for request. Overnight via Fedex with deposit letter from Accountant)

**Bannon Lakes
COMMUNITY DEVELOPMENT DISTRICT**

General Fund

Check Request

Date	Amount	Authorized By
January 20, 2026	\$322,547.01	Sheryl Fulks

Payable to:

Bannon Lakes CDD c/o BNY Mellon #113 DS 2022
--

Date Check Needed:

Budget Category:

ASAP	1-300-20700-10400
------	-------------------

Intended Use of Funds Requested:

1/14/26 SJC TAX DIST 6	\$ 322,547.01
	322,547.01
<i>(Attach supporting documentation for request.)</i>	



INVOICE

For: BANNON LAKES COMMUNITY DEVELOPMENT
 DISTRICT
 475 WEST TOWN PLACE, SUITE 114
 WORLD GOLF VILLAGE
 ST. AUGUSTINE, FL 32092
 United States

From: The Bank of New York Mellon Trust Company, National
 Association
 333 South Hope Street
 Los Angeles, CA, 90071
 United States

Invoice Number: 00252-26-0096304
 Invoice Date: Jan 12, 2026
 Due Date: Feb 11, 2026
 Account Number: 0687100306-INV
 Cycle Date: Jan 29, 2026
 Legacy Ref#: CT2011557
 Currency: USD

INVOICE

Total Payable Amount: 6,400.00 USD

RECEIVED
 By Tara Lee at 10:01 am, Jan 20, 2026

Current Period Subtotal: 6,400.00 USD
 Current Period Tax: 0.00 USD
 Current Period Total: 6,400.00 USD
 Satisfied to Date: 0.00 USD
 Balance Due: 6,400.00 USD

Terms: Payable upon receipt. Please reference the invoice and account number with your remittance.
 Our Tax ID Number is 95-3571558. Please fax Taxpayer Certification requests to (732) 667-9576.
 The Bank of New York Mellon Trust Company, N.A is located at 333 South Hope Street, Los Angeles, CA, 90071, United States.

Wire and ACH Payment Instructions:

[Redacted]

Check Payment Instructions:
 The Bank of New York Mellon
 Corporate Trust Department
 P.O. Box 392013
 Pittsburgh, PA 15251-9013
 Please enclose billing stub.



Details for Bannan Lakes Community Development District, Special Assessment Bonds Series 2021

	Quantity	Rate	Proration	Subtotal	Total (USD)
Flat					
Construction Fund Administration Fee					2,000.00
For the period: Jan 29, 2026 to Jan 28, 2027					
Flat Fee		2,000.00		2,000.00	
Trustee					
Annual Fee					4,400.00
For the period: Jan 29, 2026 to Jan 28, 2027					
Flat Fee		4,400.00		4,400.00	
Total					6,400.00



Billing Stub

BANNON LAKES COMMUNITY
DEVELOPMENT DISTRICT

Invoice Number: 00252-26-0096304
Account Number: 0687100306-INV
Invoice Date: Jan 12, 2026
Cycle Date: Jan 29, 2026



INVOICE

For: **BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT**
 ATTN: JIM OLIVER 475 WEST TOWN PLACE, SUITE 114,
 WORLD GOLF VILLAGE
 ST. AUGUSTINE, FL 32092
 United States

From: **The Bank of New York Mellon Trust Company, National Association**
 333 South Hope Street
 Los Angeles, CA, 90071
 United States

Invoice Number: **00252-26-0096702**
 Invoice Date: **Jan 14, 2026**
 Due Date: **Feb 13, 2026**
 Account Number: **0608100813-INV**
 Cycle Date: **Jan 25, 2026**
 Legacy Ref#: **BANNON2016**
 Currency: **USD**

INVOICE

Total Payable Amount: **4,400.00 USD**

Current Period Subtotal:	4,400.00 USD
Current Period Tax:	0.00 USD
Current Period Total:	4,400.00 USD
Satisfied to Date:	0.00 USD
Balance Due:	4,400.00 USD

Terms: Payable upon receipt. Please reference the invoice and account number with your remittance.
 Our Tax ID Number is 95-3571558. Please fax Taxpayer Certification requests to (732) 667-9576.
 The Bank of New York Mellon Trust Company, N.A is located at 333 South Hope Street, Los Angeles, CA, 90071, United States.

Wire and ACH Payment Instructions:

[Redacted wire and ACH payment instructions]

Check Payment Instructions:
 The Bank of New York Mellon
 Corporate Trust Department
 P.O. Box 392013
 Pittsburgh, PA 15251-9013
 Please enclose billing stub.

RECEIVED
 By Tara Lee at 10:02 am, Jan 15, 2026



Details for BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT SPECIAL ASSESSMENT REVENUE BONDS, SERIES 2015

	Quantity	Rate	Proration	Subtotal	Total (USD)
Flat					
Administration Fee					4,400.00
For the period: Jan 25, 2026 to Jan 24, 2027					
Flat Fee		4,400.00		4,400.00	
Total					4,400.00



Billing Stub

BANNON LAKES COMMUNITY
DEVELOPMENT DISTRICT

Invoice Number: 00252-26-0096702
Account Number: 0608100813-INV
Invoice Date: Jan 14, 2026
Cycle Date: Jan 25, 2026



35 Enterprise Drive
Bunnell, FL 32110

INVOICE

Invoice Batch Number 1361
 Invoice Date 12/31/25
 Payment Terms Net 30
 PO Number
 Sales Rep David Jackson

Bill To

Bannon Lakes CDD
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Description	Qty / UOM	Rate	Ext. Price	Amount
Service Location: Bannon Lakes CDD				
Irrigation system repairs.				
Irrigation Maintenance #1|December 15, 2025				
Irrigation repairs completed				
Scott Martin 12/15/2025 3:31 PM Work ticket #11389|#-				
Irrigation Maintenance #1|December 15, 2025				
Scott Martin 12/15/2025 10:23 AM Work ticket #11389|#-				
Billable Irrigation - 12/15/2025				
Labor - 12/15/25	5.07 Hrs	\$45.00	\$228.15	
Rain Bird Nozzle Half Circle 15 ft. 180 Degree (Material)	1.00 ea	\$1.26	\$1.26	
Hunter PRO Nozzle 12 ft. Radius Half Circle 12 ft. 180 Degree (Material)	1.00 ea	\$1.16	\$1.16	
Rain Bird 1806 Spray Body NSI 6 in. Pop Up No Side Inlet (Material)	7.00 ea	\$5.14	\$35.97	
Rain Bird 1812 Spray Body Side Inlet 12 in. Pop Up (Material)	1.00 ea	\$13.37	\$13.37	
HUNTER HDL DRIPLINE RECLAIMED 12 in. 0.9 GPH 250 ft. (Material)	2.00 FT	\$0.48	\$0.95	
Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210 Degree - 270 Degree (Material)	3.00 ea	\$8.11	\$24.32	
Sch 40 PVC Cap 1/2 in. FIPT (Material)	2.00 ea	\$0.99	\$1.99	
Rain Bird Nozzle Side Strip 15 ft. (Material)	1.00 ea	\$1.33	\$1.33	
Poly Insert Coupling 1/2 in. x 1/2 in. (Material)	5.00 ea	\$1.19	\$5.95	
Rain Bird U-Series Nozzle 12 ft. Radius Quarter Circle 12 ft. 90 Degree (Material)	7.00 ea	\$2.63	\$18.42	
Irrigation system repairs.				

Irrigation Maintenance #1|December 16, 2025

Additional repairs needed will add all parts on 12/17/25
Wednesday

Scott Martin 12/16/2025 3:34 PM

Work ticket #11403|# -

Irrigation Maintenance #1|December 16, 2025

Scott Martin 12/16/2025 12:07 PM

Work ticket #11403|# -

Billable Irrigation - 12/16/2025

Labor - 12/16/25

4.12 Hrs \$45.00 \$185.40

Irrigation system repairs.

Irrigation Maintenance #1|December 17, 2025

Scott Martin 12/17/2025 10:24 AM

Work ticket #11412|# -

Irrigation Maintenance #1|December 17, 2025

Scott Martin 12/17/2025 8:16 AM

Work ticket #11412|# -

Billable Irrigation - 12/17/2025

Labor - 12/17/25

3.40 Hrs \$45.00 \$153.00

Hunter AC Solenoid Assembly 24 VAC (Material)

2.00 ea \$16.32 \$32.65

Rain Bird RD06 Non-Potable Spray Body NSI 6 in. Pop Up No
Side Inlet (Material)

8.00 ea \$4.48 \$35.84

Hunter MP Rotator MP3000 Nozzle 22 ft. - 30 ft. 90 Degree -
210 Degree (Material)

9.00 ea \$8.11 \$72.95

Rain Bird 5004 Rotor w/ 2.0 Nozzle Part-Circle 4 in. Riser
(Material)

1.00 ea \$12.38 \$12.38

Hunter MP Rotator MP2000 Nozzle Radius 13 ft. - 21 ft. 210
Degree - 270 Degree (Material)

2.00 ea \$8.11 \$16.21

Sch 40 PVC 90 Degree Reducing Elbow 3/4 in. x 1/2 in.
Socket (Material)

1.00 ea \$1.05 \$1.05

Total for Bannon Lakes CDD

\$842.35

Approved 1/15/26
Jeff Johnson
Irrigation Repairs
1.330.53800.46400

Invoice Subtotal:	\$842.35
Sales Tax:	\$0.00
Invoice Total:	\$842.35
Credits/Payments:	\$0.00
Balance Due:	\$842.35

RECEIVED

By Tara Lee at 11:33 am, Jan 15, 2026

Project Manager Alex Acree



Bannon Lakes CDD Government Management Services
Bernadette Peregrino
475 West Town Place
St. Augustine, FL 32092

January 13, 2026
Invoice # 194513

Project 0000002619.0000 Bannon Lakes CDD

This invoice includes charges for tasks performed for your project, including:

- CDD Coordination
Process Requisitions

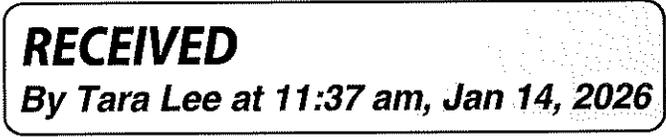
Please call Alex Acree if you have any questions or concerns regarding your project. For billing inquiries, please contact our Accounting Department.

Professional Services through December 31, 2025

Table with columns: Phase, 0001, Engineering Services, Hours, Rate, Amount. Rows include Vice President of Production, Project Coordinator 3, Project Administrator, Total Labor (232.50), and Total Due (232.50).

Billed to Date

Summary table with columns: Current Due, Prior Billed, Billed to Date. Rows for Labor and Totals.



Riverside Management Services, Inc
 475 West Town Place
 Suite 114
 St. Augustine, FL 32092

Invoice

Invoice #: 278
 Invoice Date: 1/13/2026
 Due Date: 1/13/2026
 Case:
 P.O. Number:

Bill To:
 Bannan Lakes CDD
 475 West Town Place
 Suite 114
 St. Augustine, FL 32092

Description	Hours/Qty	Rate	Amount
Facility Maintenance December 1 - December 31, 2025	168	40.00	6,720.00
Maintenance Supplies		116.61	116.61
<p>Approved 1/14/26 Jeff Johnson Facility Maintenance 1.320.57200.45100 \$3333.00 Grounds Maintenance 1.330.53800.46100 \$1633.00 Repairs and Maintenance 1.320.57200.60000 \$1870.61</p> <p><i>Alison Moxing</i> 1-14-26</p>			

Total	\$6,836.61
Payments/Credits	\$0.00
Balance Due	\$6,836.61

RECEIVED
 By Tara Lee at 3:21 pm, Jan 14, 2026

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT
MAINTENANCE BILLABLE HOURS
FOR THE MONTH OF DECEMBER 2025**

<u>Date</u>	<u>Hours</u>	<u>Employee</u>	<u>Description</u>
12/1/25	8	T.W.	Tar removal from patio deck, checked fire extinguishers, reset fitness center and clubhouse, blew leaves and debris off pool deck, patio, walkways and courts, raked playground and cart park, straightened and organized pool deck and patio furniture, checked pool levels and chemicals, restocked fitness center and bathrooms, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/2/25	8	T.W.	Continues with patio deck tar removal, checked pool levels and chemicals, restocked bathrooms and fitness center, straightened and organized pool deck and patio furniture, blew leaves and debris off walkways, courts, pool deck and patio, reset clubhouse and fitness center, removed debris around roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/3/25	8	T.W.	Tennis court screens repaired, blew leaves and debris off pool deck, patio, walkways, courts and parking lot, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, cart maintenance, straightened and organized pool deck and patio furniture, removed debris from roadways and pond
12/4/25	8	T.W.	Removed roof tar from patio deck, blew leaves and debris off walkways, pool deck, patio and courts, reset clubhouse and fitness center, restocked pool and fitness center bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris around roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/5/25	8	T.W.	Relocated street sign, straightened and organized pool deck and patio furniture, restocked bathrooms and fitness center, reset clubhouse and fitness center, checked pool water level and chemicals, blew leaves and debris off pool deck, patio, courts and walkways, raked playground and cart park, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/8/25	8	T.W.	Lighting inspection on streets and grounds, fixed tennis court windscreens, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked pool water level and chemicals, blew leaves and debris off walkways, courts, pool deck and patio, raked playground and cart park, reset clubhouse and fitness center, restocked bathrooms, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/9/25	8	T.W.	Removed tar from the walkways, blew leaves and debris off parking lot, courts, walkways, pool deck and patio, checked pool levels and chemicals, reset clubhouse and fitness center, checked and restocked supplies in fitness center and bathrooms, removed debris from pond and roadways, raked playground and cart park
12/10/25	8	T.W.	Painted patio deck ceiling fans, raked cart park and playground, blew leaves and debris off walkways, courts, pool deck and patio, reset clubhouse and fitness center, restocked bathrooms, checked pool water level and chemicals, removed debris from pond and roadways, checked

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT
MAINTENANCE BILLABLE HOURS
FOR THE MONTH OF DECEMBER 2025**

<u>Date</u>	<u>Hours</u>	<u>Employee</u>	<u>Description</u>
12/11/25	8	T.W.	and changed trash receptacles, emptied and restocked dog waste receptacles Clubhouse walkway tar removal, straightened and organize pool deck and patio furniture, blew leaves and debris off courts, walkways, pool deck and patio, raked playground and cart park, checked pool water level and chemicals, reset clubhouse and fitness center, restocked fitness center and restrooms, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/12/25	8	T.W.	Checked pool water levels and chemicals, reset clubhouse and fitness center, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/15/25	8	T.W.	Wiped down wall and touched up painted walls, restocked bathrooms, blew leaves and debris off pool deck, patio, walkways and courts, raked playground and cart park, reset clubhouse and fitness center, checked pool water level and chemicals, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/16/25	8	T.W.	Tar removed from walkways, set up clubhouse for meeting, reorganized work shop, raked playground and cart park, blew leaves and debris off walkways, courts, pool deck and patio, restocked bathrooms, checked water level and chemicals on pool, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/17/25	8	T.W.	Fixed tennis court windscreens, reset clubhouse and fitness center, blew leaves and debris off walkways, courts, pool deck and patio, raked playground and cart park, checked pool water levels and chemicals, restocked bathrooms and fitness center, cart maintenance and clean up, straightened and organized pool deck and patio furniture, removed debris from ponds and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/18/25	8	T.W.	Roof tar removed from patio steps, blew leaves and debris off pool deck, patio, walkways and courts, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/19/25	8	T.W.	Removed tar from clubhouse steps and walkway, checked pool water levels and chemicals, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms and fitness center, reset clubhouse and fitness center, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris around pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles

**BANNON LAKES COMMUNITY DEVELOPMENT DISTRICT
MAINTENANCE BILLABLE HOURS
FOR THE MONTH OF DECEMBER 2025**

<u>Date</u>	<u>Hours</u>	<u>Employee</u>	<u>Description</u>
12/22/25	8	T.W.	Straightened and organized pool deck and patio furniture, blew leaves and debris off pool deck, patio, courts and walkways, raked playground and cart park, removed debris from pond and roadways, checked and changed trash receptacles, emptied and restocked dog waste receptacles, reset fitness center and bathrooms, checked pool water levels and chemicals, cart maintenance, restocked bathrooms
12/23/25	8	T.W.	Checked pool water levels and chemicals, reset clubhouse and fitness center, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/26/25	8	T.W.	Painted bike racks, blew leaves and debris off pool deck, parking lot, patio, walkways and courts, reset the clubhouse and fitness center, restocked bathrooms and fitness center, raked playground and cart park, checked pool levels and chemicals, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/29/25	8	T.W.	Reset clubhouse and fitness center, checked pool water levels and chemicals, blew leaves and debris off pool deck, patio, walkways and courts, restocked bathrooms, raked playground and cart park, straightened and organized pool deck and patio furniture, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles
12/30/25	8	T.W.	Rebuilt faucet in men's restroom pool bathroom, removed scale and lime from all faucets in the pool bathrooms, straightened and organized pool and patio furniture, raked cart park and playground, reset clubhouse and fitness center, restocked pool and fitness bathrooms, removed debris from roadways and pond, checked pool water level and chemicals, blew leaves and debris off courts and walkways
12/31/25	8	T.W.	Court windscreen repaired, straightened and organized pool deck and patio furniture, blew leaves and debris off courts, walkways, pool deck and patio, reset clubhouse and fitness center, restocked bathrooms and fitness center, checked pool water level and chemicals, removed debris from roadways and pond, checked and changed trash receptacles, emptied and restocked dog waste receptacles

TOTAL 168

MILES 0

*Mileage is reimbursable per section 112.061 Florida Statutes Mileage Rate 2009-0.445

THIGPEN

HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0018782

Invoice Date :01/14/2026

Install Date :06/26/2017

Service Order :043820

Page : 1 of 2

Serviced At : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL 32095

Bill To : 122663

Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL
 32095

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CMNT		DUE UPON RECEIPT

Service Requested :

01/09- Paul to return to replace NEED TO BRING OUT A A48 BELT. Paul has belt. _____ 108335
 po Commercial Maintenance Commercial Maintenance. PAUL ONLY AT THIS LOCATION, EVEN FOR MAINT! IF
 YOU SEND A HELPER, PAUL MUST BE THE FIRST ON SITE EVERY TIME!! CALL JEFF WHEN HEADING TO
 PROPERTY EVERY TIME. HE IS IN CHARGE OF FACILITIES. 1ST THING AM.

Service Comments :

Three system maintenance. Water cleaned evaporator coil, drain pan, drain lines flush with water and treated with
 powerzyme. Checked all electrical connections, capacitors. Checked E-heat, heat, cooling. Pressure in cooling. All three
 systems are running at this time. 01/09/2026. Replaced a58 drive belt on TRANE AIR HANDLER M/N
 TWE090E300. S/N 1733NJABA. System running at this time.

Description	Mfg Name	Model	Serial No
Condenser	MISC	TTA090H300AA	16512L83YA
Description	Mfg Name	Model	Serial No
Air Handler	MISC	TWE090E300AA	17033NJABA
Description	Mfg Name	Model	Serial No
Condenser	MISC	14HPX036-230-21	1917B03797
Description	Mfg Name	Model	Serial No
Air Handler	MISC	CBX25UH-036-230-10	1717B34977
Description	Mfg Name	Model	Serial No
Air Handler	LENNOX	CBX25UH-048-230-10	1717B16907

See Over < 2 >



HEATING & COOLING, INC.

Since 1962

Please remit payment to:

Thigpen Heating and Cooling, Inc.
 2801 Dawn Road, Jacksonville FL 32207
 Phone: 904-448-1962 Website: www.thigpenac.com
 License # CACO56726 | CACO56729 | CN208226

INVOICE : 0018782

Bill To : 122663
 Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL
 32095

Invoice Date : 01/14/2026 **Install Date :** 06/26/2017
Service Order : 043820 **Page :** 2 of 2
Serviced At : 122663
 Bannon Lakes Amenity Center
 435 Bannon Lakes Blvd
 Saint Augustine, FL 32095

Contact	Telephone	Call Type	Customer PO	Terms
Jeff Johnson	(904)660-3669	CMNT		DUE UPON RECEIPT

Description	Mfg Name	Model	Serial No
Heat Pump	LENNOX	14HPX-048-230-21	1917B06555

Qty	Description	Price	Extended
3	16x25x1 Pleated Filter	0.00	0.00
1	18x20x1 Pleated Filter	0.00	0.00
1	18x24x1 Pleated Filter	0.00	0.00
Total Parts for Unit			0.00
Total Labor for Unit			0.00
Maintenance Contract :			449.00

Approved 1/15/26
 Jeff Johnson
 Repairs and Maintenance
 1.320.57200.60000

RECEIVED
 By Tara Lee at 8:53 am, Jan 15, 2026

PLEASE REMIT TO:
Thigpen Heating & Cooling, Inc
 2801 Dawn Road
 Jacksonville, FL 32207

Materials:	0.00
Misc:	449.00
Trip Charge:	0.00
Labor:	0.00
Subtotal:	449.00
Sales Tax:	0.00
Total:	449.00 USD
Balance Due:	449.00 USD



AMTEC

American Municipal Tax-Exempt Compliance

90 Avon Meadow Lane
Avon, CT 06001
(T) 860-321-7521
(F) 860-321-7581

www.amteccorp.com

Client: Bannan Lakes Community Development District
c/o Ms. Bernadette Peregrino
District Accountant
Governmental Management Services
475 West Town Place
Suite 114
St. Augustine, FL 32092

Invoice No. 7937-01-26

Date: January 21, 2026

For Professional Services:

Issue	Service	Fee
\$9,135,000 Bannan Lakes Community Development District (St. Johns County, Florida), Special Assessment Revenue Bonds, Series 2022 - (\$450/per Bond Year – 3 Bond Years)	Rebate Report & Opinion	\$1,350
	Total	\$1,350

PLEASE UPDATE YOUR RECORDS TO REFLECT OUR NEW BANK / ACCOUNT NUMBER.

Please remit the total due to AMTEC (Tax ID: 06-1308917):



CommercialFitnessProducts

Invoice

5034 N Hiatus Road
 Sunrise, FL 33351

954-747-5128 Phone
 954-747-5131 Fax

Date	Invoice #
1/20/2026	BC01207

Sold To	Ship To
---------	---------

Bannon Lakes
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Bannon Lakes
 435 Bannon Lakes Blvd.
 St. Augustine, FL 32095

Rep	Account #	Sales Order No.	Ship Date	Purchase Order #	Terms	Due Date
JL	BL435	WO#4187	1/20/2026	Verbal	Net 30	2/19/2026
Qty	Item Code	Description		Price Each	Amount	
1	Service Charge	Service Charge		95.00	95.00	
1	Part	Key Pad Overlay		75.00	75.00	
1	Part	Key Pad Overlay Resistance Control		55.00	55.00	
1	Labor	Technician installed part listed.		95.00	95.00	
		Subtotal			320.00	
1	Freight	Inbound Shipping		0.00	0.00	
<p>Approved 1/27/26 Jeff Johnson Fitness Center Repairs 1.320.57200.60100</p> <div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>RECEIVED By Tara Lee at 12:29 pm, Jan 27, 2026</p> </div>						

		Total	\$320.00		
		Payments/Credits	\$0.00		
		Balance Due	\$320.00		
<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">www.commfitnessproducts.com</td> <td></td> </tr> </table>				www.commfitnessproducts.com	
www.commfitnessproducts.com					

